



**STAFF REPORT**  
Planning Commission Meeting of  
May 20, 2024

<b>Project Name:</b>	The Villages at Clark's Mill CSP 23-0225
<b>Owner:</b>	FDR Holdings, LLC
<b>Agent:</b>	J Hopson Consulting, LLC
<b>Property Info:</b>	Tax Map 34, Parcel 613 44405 K & R Way, Hollywood (PTIN: 06-068308) 44410 K & R Way, Hollywood (PTIN: 06-068316) 44415 K & R Way, Hollywood (PTIN: 06-049621) 44420 K & R Way, Hollywood (PTIN: 06-068294) 44425 K & R Way, Hollywood (PTIN: 06-068324)

**PROPERTY DESCRIPTION:**

This Project consists of 3.70 acres located in the Residential Mixed-Use Zone (RMX) and is located within the Residential Mixed-Use Area as shown on the Land Use Concept Plan incorporated into the County's Comprehensive Plan. Due to its proximity to the St. Mary's County Regional Airport, the Subject Property is located within the AE-4 Overlay Zoning District.

**BACKGROUND:**

On July 6, 2023, the Concept Site Plan was submitted for review and distributed to the TEC agencies, which consist of the following: St. Mary's County Public Schools, Dept. of Economic Development, Dept. of Environmental Health, Soil Conservation District, MD State Highway Administration (SHA), St. Mary's County Metropolitan Commission, Dept. of Land Use and Growth Management, Washington Gas, SMECO, Sheriff's Office, Dept. of Recreation and Parks, Maryland Dept. of Natural Resources (DNR), Maryland Dept. of the Environment (MDE), Fire Board, Patuxent River Naval Air Station.

**SUMMARY OF REQUEST:**

Approval of a concept site plan for 18 townhouse units (Dwelling Unit, Attached, Use Type 14), which is a permitted Use Type within the RMX Zone and AE-4 Overlay Zoning District.

### **APPLICABLE REGULATIONS:**

In reviewing an application and Concept Site Plan, LUGM staff confirm that the materials conform to the following standards:

1. Section 51.3. entitled "Specific Regulations and Standards." Therefore, all general standards for this use type (Dwelling Unit, Attached) must be satisfied (see CZO § 51.3.14);
2. Schedule 32.1 entitled "Development Standards" incorporated within Chapter 32 (Property Development Regulations);
3. Chapter 63 (Landscaping and Buffer Yards);
4. Chapter 64 (Off-Street Parking and Loading); and
5. Chapter 71 (Resource Protection Standards)

As set forth in CZO § 60.6.4, in order to approve a Concept Site Plan, the Planning Commission must make the following findings:

- a. *Is consistent with the Comprehensive Plan and applicable functional plans;*
- b. *May be served by adequate public facilities as required by Section 70.2.2;*
- c. *Is consistent with the County's Annual Growth Policy, including any required phasing plans;<sup>1</sup>*
- d. *Will promote the health, safety, and welfare of the general public;*
- e. *Adequately developed recreational and other community amenities are provided in accordance with the Comprehensive Plan and the Comprehensive Zoning Ordinance;*
- f. *Is consistent with Chapter 62 design objectives.*

### **ANALYSIS:**

In reviewing the application and Concept Site Plan, LUGM Staff noted the following:

1. ***Section 51.3. entitled "Specific Regulations and Standards." Therefore, all general standards for this use type (Dwelling Unit, Attached) must be satisfied (see CZO § 51.3.14)***
  - 1) Minimum parcel area: 3 acres  
Proposed parcel area: 3.7 acres.  
Staff Finding: Design meets requirement
  - 2) Structure length: less than 130'  
Proposed structure length: max. 120'.  
Staff Finding: Design meets requirement
  - 3) Townhouse width: >20'  
Proposed width: >23'  
Staff Finding: Design meets requirement
  - 4) Required Side Yard: 75' from the boundary of adjoining lot of single-family dwelling.  
Proposed: 41' and 70'  
Staff Finding: Meets requirement with recorded "Zoning Yard Reduction Agreement"

- 5) Rear yard screening: n/a
- 6) Distance between two unattached attached dwelling structures: 40' between exterior walls  
Proposed distance: >67'  
Staff Finding: Design meets requirement
- 7) Required Open Space: 800 sq. ft. of open space per attached dwelling unit  
Proposed: 16,117.2 sq. ft.  
Staff Finding: Design meets requirement
- 8) Height Restriction: 40'  
Proposed height: <40'  
Staff Finding: Design meets requirement

**2. Schedule 32.1 entitled "Development Standards" incorporated within Chapter 32 (Property Development Regulations);**

- 1) Density for RMX zoning district: 1 – 5 dwelling units/acre (du/acre) with TDRs for density above 1 du/acre  
Proposed density: 4.86 du/a  
Staff Finding: Design meets requirement; 13 TDRs required
- 2) Undeveloped Open Space required: 50% of site area.  
Proposed: 20% of site area  
Staff Finding: BOA approval required

**3. Chapter 63 (Landscaping and Buffer Yards);**

- 1) Landscaping: 0.74 acres (Schedule 32.1)  
Proposed: 2.7 acres  
Staff Finding: Design meets requirement
- 2) Buffer Yard Requirement(s):
  - a. Required: 15' type "A" buffer yard is required along Mervell Dean Road and Three Notch Road  
Proposed: 15' type "A" buffer yard  
Staff Finding: Design meets requirement
  - b. Required: 65' type "B" buffer yard is required along northwestern and southeastern boundaries adjacent to single-family dwellings.  
Proposed: 32.5' (one half of type "B" buffer yard)  
Staff Finding: A variance to reduce type "B" buffer yard is required

**4. Chapter 64 (Off-Street Parking and Loading);**

- 1) Off-Street Parking:  
Required: 2 spaces/unit (Use Type #14)  
Proposed: 2 spaces/unit in individual garages and/or driveway (total 36 spaces); 6 additional spaces (at the request of the Planning Commission)  
Staff Finding: Design exceeds requirement

**5. Chapter 71 (Resource Protection Standards):**

Required: Various resource protection standards are required upon the type of resource present  
Staff Finding: No sensitive areas located onsite

As set forth in CZO § 60.6.4, in order to approve a Concept Site Plan, the Planning Commission must make certain findings. To assist the Planning Commission with this determination, the following information is provided:

**a. *Is consistent with the Comprehensive Plan and applicable functional plans;***

As shown on page 4-18 of the Comprehensive Plan, the property is located in the Hollywood Town Center.

Town Centers are “secondary growth centers” that are intended to be “urban in pattern and form, designated for moderately intense residential, commercial, and industrial development supported by provision of community facilities and services” (page 3-6). Moreover, Town Centers are intended to be “receiving areas for transferred development rights” (page 3-6).

Based upon the nature and scope of the proposed development and the use of TDRs to increase density in this secondary growth center, the project is consistent with Comprehensive Plan.

Moreover, Comprehensive Water and Sewer Plan Section 2.3 Growth Considerations, states that “The location of people and jobs are determinants of where water and sewerage facilities should be provided” (page 2-2). The water and sewer service categories indicate the planned service priority. For a property to be a planned service priority, categorized as W-6D and S-6D, (potential future service, developer financed) or W-3D and S-3D, (areas to be served within three to five years, developer financed) the parcel “must be located in a Development District, a Town Center, a Village Center, or a Neighborhood Conservation District” (page 1-8).

**b. *May be served by adequate public facilities as required by Section 70.2.2;***

1) Adequacy of Roads:

The following information was provided by DPW&T in a memorandum dated February 29, 2024:

- a. Required Level of Service (LOS): LOS ‘C’  
Proposed LOS: ‘C’ at Mervell Dean Rd. @ Clarks Landing Rd. and at Airport Rd./Mervell Dean Rd. @ MD 235. (Note: Trip generation is less than 50 peak hour trips)  
Staff Finding: Design meets requirements

2) Adequacy of water/sewer:

The properties are categorized as W-6D, potential future service developer financed, and S-3D, to be served in 3-5 years developer financed. The water category is in the process of a Comprehensive Water and Sewer Amendment, CWSP23-0369, to change the category to W-3D, to be served in 3-5 years developer financed. CWSP23-0369 was recommended for approval by the Planning Commission on March 11, 2024.

Staff Finding: Design meets requirements.



3) Adequacy of Storm Drainage:

The drainage system and outfall design is in accordance with the St. Mary's County Stormwater Management, Grading, Sediment, and Erosion Control Ordinance. Moreover, the total Environmental Site Design Volume requirement is 6,301 cubic feet. The Storm Drainage systems have been approved by Department of Public Works and Transportation.

Staff Finding: Design meets requirements.

4) Adequacy of Schools:

For 18 Dwelling Units:

Adequate school seats are available to accommodate the proposed student yield.

School Type	Attendance Zone	Student Yield
Elementary	Northern/Southern	.215 x 18 = <b>3.87</b>
Middle	County wide	.107 x 18 = <b>1.926</b>
High	County wide	.154 x 18 = <b>2.772</b>

Staff Finding: Project meets requirements

5) Adequacy of Fire Prevention and Suppression:

The development will be serviced by a central public water supply system capable of providing fire flow in accordance with the St. Mary's County Metropolitan Commission's specifications and standards for water and sewerage construction and the St. Mary's County Building Code. In accordance with the St. Mary's County Fire Prevention and Suppression, there will be three fire hydrants along the internal road. Thus, per CZO § 70.12.2.a.(1), the development will have an adequate water supply.

Staff Finding: Design meets requirements.

**c. *Is consistent with the County's Annual Growth Policy, including any required phasing plans;***

By Resolution 2016-22 to suspend Resolution 2008-40, CZO 60.6.4.c. has been repealed, therefore, this criterion is no longer applicable.

**d. *Will promote the health, safety, and welfare of the general public;***

As stated above, the Subject Property is located in the Residential Mixed-Use Zoning District and the proposed use (single-family, attached) is a permissible use type within the zone. As explained in CZO § 10.3, the purposes of the Zoning Ordinance include the protection and promotion of the "public health, safety and general welfare" in St. Mary's County. Therefore, provided that the project meets the requirements of the Zoning Ordinance, it is presumed to protect and promote the public health, safety, and general welfare of the community.

**e. *Adequately developed recreational and other community amenities are provided in accordance with the Comprehensive Plan and the Comprehensive Zoning Ordinance;***

As outlined in the Comprehensive Plan, development within “Growth Areas” such as the Hollywood Town Center should provide public spaces and amenities for residents. As the Concept Site Plan illustrates, a walking trail and common open space is being provided, which provides opportunities for residents to safely enjoy the outdoors.

As stated above, the project is required to provide a minimum of 800 sq. ft. of open space per attached dwelling unit. The Concept Site Plan proposes 16,117.2 sq. ft. of open space, which exceeds the requirement set forth in the Specific Regulations and Standards (CZO § 51.3.14).

**f. *Is consistent with Chapter 62 design objectives.***

The design objectives established in Chapter 62 are intended to, amongst other things, “promote attractive development” and “provide for the careful consideration of key elements of building form, design, and context” within the local community (see CZO § 62.1.).

Upon review of the application and Concept Site Plan in conjunction with CZO § 60.2.3, the following observations have been made:

Criterion 1: Harmony of Design.

The design should reflect County’s history and status as rural Chesapeake Bay peninsula by using traditional design elements that are typical of the Southern Maryland Tidewater Region. Upon a review of the plans and elevation renderings, the design incorporates styles mainly found in the Southern Maryland Tidewater Region, known as Colonial Design reflected for the most part in Historic St. Mary’s City, such as gabled and hipped roofs, horizontal sidings, and double hung windows. Due to the nature of townhouses (number of attached units and overall length of the building) each unit has a distinct color and staggered frontage to provide some privacy, therefore the design meets this criterion.

Criterion 2: Scale.

All the design elements of the building should be kept in scale with the building and be in the same architectural scale as the overall style of the building. Upon a review of the plans and elevation renderings the width of each unit is approximately 23’ which is 3’ larger than the minimum (per CZO §51.3.14.a.(4)), the main hipped roof is combined with gabled roof (at every other unit) creates the sense of a smaller building, therefore the design meets this criterion.

Criterion 3: Colors.

Colors and tones on walls and roofs should be muted. Bright and shiny colors, if used at all should be used as accents only. Upon a review of the plans and elevation renderings, each unit has a distinct color (creating a sense of individuality). Colors are muted, therefore the design meets this criterion.

Criterion 4: Exterior.

Exterior building components including accessory structures in view of public rights-of-way, publicly accessible yards, internal access roads, parking and driveways should be limited to

bricks, wood, stucco, horizontal or vertical board, shingles, split face or finished block, stone and “architectural metal” and/or their synthetic equivalents. Upon a review of the plans and elevation renderings, exterior components include horizontal boards (sidings), architectural mouldings, stucco and roof shingles, therefore the design meets this criterion.

Criterion 5: Materials.

Materials should be selected for their durability and wear. Proper measures should be taken for protection against weather, neglect, damage and abuse. Upon a review of the plans and elevation renderings building materials have been chosen for their durability and minimal maintenance, therefore the design meets this criterion.

Criterion 6: Entrances.

All entrances to a building should be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticoes, porches, overhangs, railings, balustrades and others, where appropriate. Upon a review of the plans and elevation renderings, entrance to each unit is articulated with the use of door moulding and roof overhang. Units have staggered frontage so that some privacy can be maintained. Therefore, the design meets this criterion.

Criterion 7: Roofs.

Pitched roofs are preferred. Flat roofs should be modified through the use of pediments and other traditional design motifs around all sides visible from public rights-of-way. All mechanical equipment or other utility hardware on roofs shall be screened from view of publicly accessible areas and rights-of-way. Upon a review of the plans and elevation renderings, pitched roofs are incorporated into the design using a combination of hipped and gabled roofs for additional interest and to maintain scale. Therefore, the design meets this criterion.

Criterion 8: Sustainability.

Remodeling of existing structures instead of building new ones is encouraged. However, because this project will result in new development, this criterion is not applicable.

Criterion 9: Sense of Community.

Residential areas should provide safe and comfortable passage for residents, regardless of physical challenge, to commercial and service areas and transportation networks. This project proposes common open spaces to provide meeting places for residents while at the same time providing safe spaces for children to play, thus satisfying this criterion.

**CONCLUSION:**

Based upon a thorough review of the application and Concept Site Plan, the proposed development appears to/will meet the requirements set forth in the applicable sections of the Comprehensive Zoning Ordinance.

Below is a draft of the Motion for consideration by the Planning Commission:

In the matter of CONCEPT SITE PLAN # CSP23-0225 The Villages at Clark's Mill, having accepted the staff report and having made a finding that objectives of Section 60.6 of the Comprehensive Zoning Ordinance have been met, and noting that the referenced project has met all requirements for concept approval, I move that the concept site plan be APPROVED WITH THE FOLLOWING CONDITIONS:

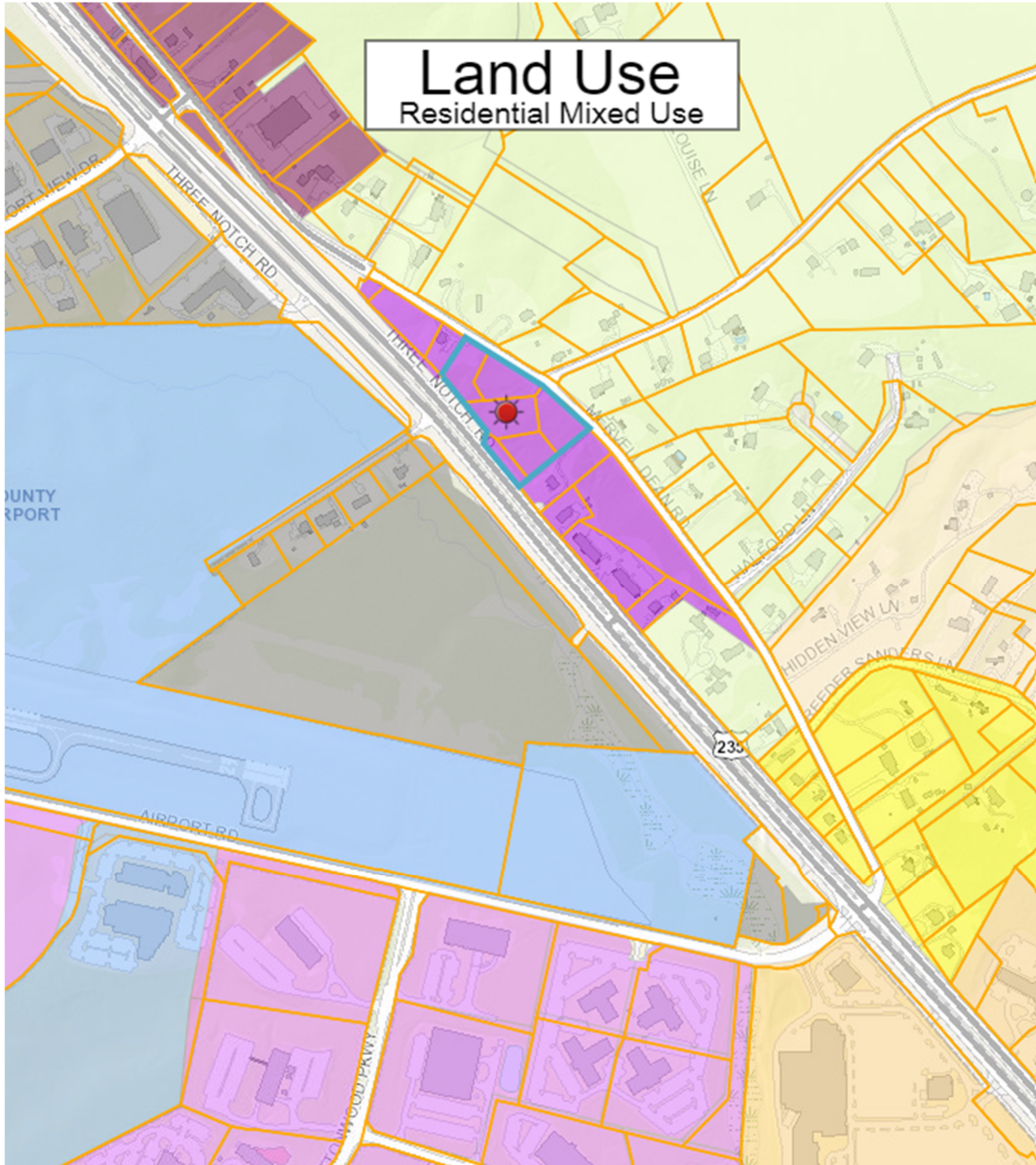
- a. Any road improvement (s) required by the state and county must be concurrent with the issuance of the Certificate of Occupancy;
- b. A variance to reduce the 65' "B" type buffer yard must be obtained from the Board of Appeals;
- c. A variance to reduce Undeveloped Open Space from 50% of lot area to 20% of lot area must be obtained from the Board of Appeals; and
- d. A "Zoning Yard Reduction Agreement" must be executed and recorded after Planning Commission approval of the Concept Site Plan and before the approval of the Major Site Plan.

**ATTACHMENTS:**

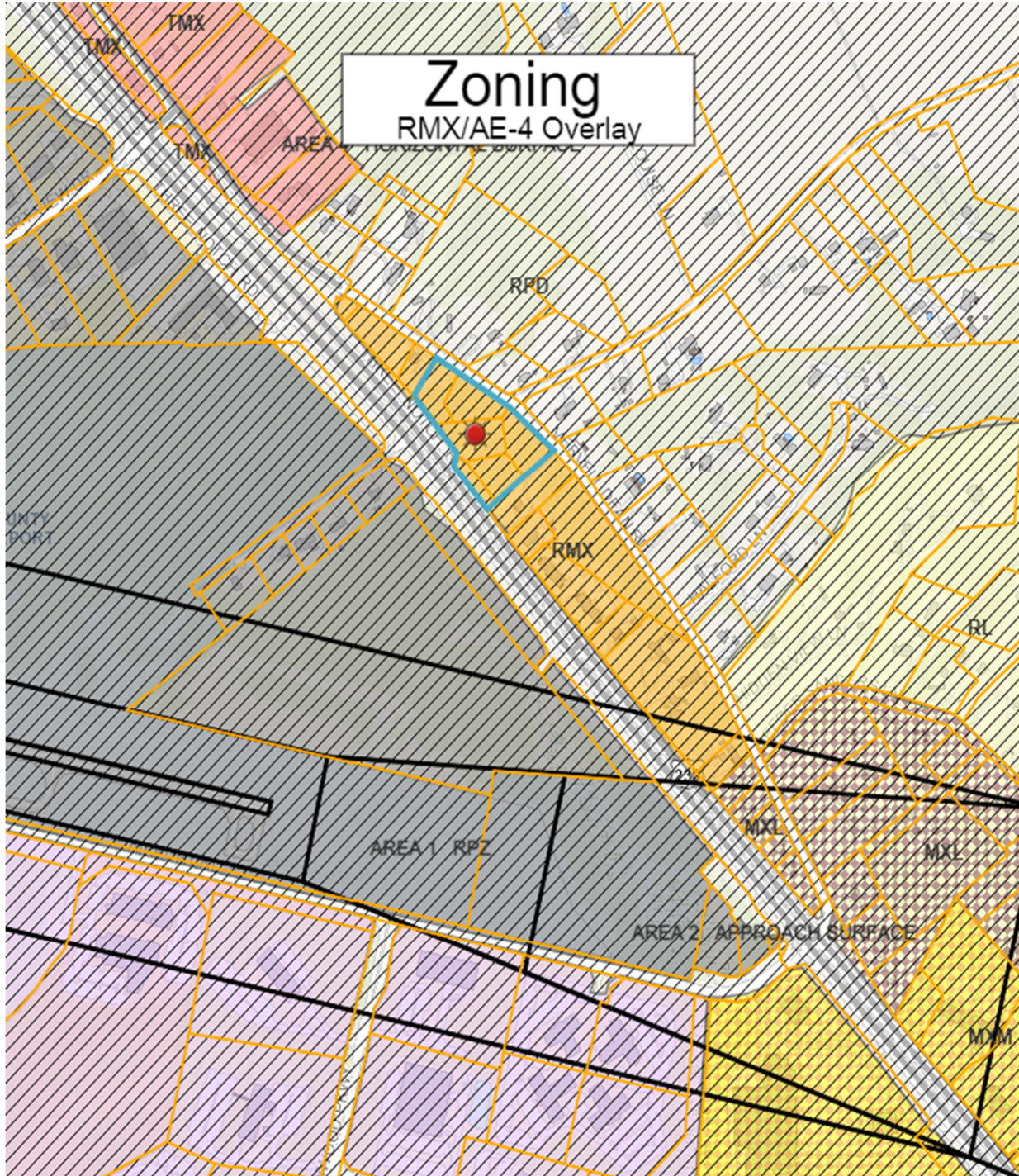
- Attachment 1 - Location Map**
- Attachment 2 - Land Use Map**
- Attachment 3 - Zoning Map**
- Attachment 4 - Site Plan**
- Attachment 5 - Color Renderings**
- Attachment 6 - DPW&T Concept Site Plan Approval**
- Attachment 7 - APF Report**
- Attachment 8 - SHA Concept Approval**
- Attachment 9 - Metropolitan Commission Approval**
- Attachment 10 - Addressing Comments/Approval**
- Attachment 11 - Health Department Approval**
- Attachment 12 - St. Mary's Soil Conservation District Approval**
- Attachment 13 - BOE Comments**















**MEMORANDUM**

DATE: April 11, 2024  
TO: **Sianli Blasco, Planner III**, Department of Land Use & Growth Management  
FROM: **Jesse J. Harper, Engineer III**, Department of Public Works & Transportation  
SUBJECT: **CSP23-0225 Village at Clarks Mill, Concept Plan**  
**Agent:** J Hopson Consulting, LLC. c/o Jay Hopson  
**Owner/Contract Purchaser:** FDR Holdings, LLC

This Department has reviewed the revised Concept Minor Site Plan submitted on April 8, 2024, for the above referenced project. We have determined that the plan as submitted meets the requirements of this Department for **REAPPROVAL**. If other agency reviews cause changes to this plan version, then submit the latest version of the plan to this Department.

**Minor Concept Site Plan Notes:**

1. Update sheet numbering for consistency, both sheet page numbering and Concept SWM E&S sheet numbering. (Multiple Concept SWM E&S Sheet #2 and multiple page sheet #8.)

**For Site Development:**

1. Once the concept stormwater management and sediment and sediment and erosion control plan approval has been obtained from all applicable review agencies, the project may proceed to the site development phase per Section 3.10.3b of the St. Mary's County Stormwater Management, Grading, Erosion and Sediment Control Ordinance. The requirements in section 3.8 must be followed.
2. Per Plat 62/69, Note 12: Lots 1 thru 5 are to be accessed by the 30' access and utility easement (K&R Way), which is adjacent to Clark's Mill Road; however, proposed site plan delineates a shared access with address 23731 Mervell Dean Road. (i.e., an updated plat will be required for this site entrance.)
3. SHA approval will be required for flow to their drainage culvert.

If you have any questions regarding these comments, please do not hesitate to contact this Department.

  
Jesse J. Harper, Engineer III  
[Jesse.Harper@stmaryscountymd.gov](mailto:Jesse.Harper@stmaryscountymd.gov)

S:\scanned\_images\Site Plans\Villages of Clarks Mill CSP23-0225\DPW CSP23-0225 Villages of Clark's Mill Concept Site Reapproval.doc



ST. MARY'S COUNTY GOVERNMENT  
DEPARTMENT OF  
PUBLIC WORKS & TRANSPORTATION

James M. Gotsch, P.E.  
Director



COMMISSIONERS OF ST. MARY'S COUNTY

James R. Guy, President  
Michael R. Alderson, Jr., Commissioner  
Eric S. Colvin, Commissioner  
Michael L. Hewitt, Commissioner  
Scott R. Ostrow, Commissioner

**MEMORANDUM**

DATE: February 29, 2024  
TO: Jessica S.B. Andritz, **Director**, Department of Land Use & Growth Management  
FROM: Jesse J. Harper, **Engineer III**, Department of Public Works & Transportation  
SUBJECT: **CSP23-0225 The Villages of Clark's Mill, Adequate Public Facilities (APF) Review**  
**Agent:** JHopson Consulting, LLC, c/o Jay Hopson  
**Owner:** FDR Holdings, LLC

This Department has reviewed the APF Report Form for the referenced project and we find it is acceptable.

- Attached is a copy of the Adequate Public Facility Report form as received with the certification signed and dated February 10, 2024.
- The project is located within the Hollywood Town Center and generates less than 50 peak hour trips; therefore, no traffic impact study is required but the level-of-service (LOS) which needs to be met is a LOS 'C'.
- The site entrance is proposed to be a single full movement access point onto Mervell Dean Road.
- The intersections of Mervell Dean Road @ Clarks Landing Road and Airport Road/Mervell Dean Road @ Maryland State Road 235 (MD 235) currently operate at acceptable levels of service. The project increase in traffic does not change the LOS of these intersections.
- The project proposes to remove an existing entrance to create a joint entrance with the adjacent lot.
- A Public Work Authorization (PWA) will be required for the proposed improvements and/or modifications to the entrance on Mervell Dean Road.
- No off-site intersection improvements are needed to satisfy the LOS criteria.
- Any required road improvements should be constructed and installed before the certificate of occupancy is granted.

It is trusted that the above will assist in making the APF determination for this development. If you have any questions regarding this memo, please do not hesitate to contact this Department.

  
Jesse J. Harper, Engineer III *JHF*  
[Jesse.Harper@stmaryscountymd.gov](mailto:Jesse.Harper@stmaryscountymd.gov)

Attachments

cc: Jonathan Makhlof, Regional Engineer, District 5 Access Management, MDOT SHA  
Jay Hopson, JHopson Consulting, LLC

S:\JHarper\Comment Letters Traffic\APF Reviews\APF Memo CSP23-0225 The Villages of Clarks Mill.doc

# Adequate Public Facilities Report to Department of Public Works & Transportation

Name of Development The Villages of Clark's Mill Date February 10, 2024

LU&GM Case File No. CSP23-0225 Checked By J. Harper JMF

1. In accordance with Article 7 of the St. Mary's County Comprehensive Zoning Ordinance, public roads within this development will be designed and constructed in accordance with the St. Mary's County Road Ordinance, and shall adequately accommodate vehicular traffic projected by this Department.

The Development must be served by roads which have a Level of Service "D" in development districts or Level of Service "C" in all other areas.

List existing roads and intersections that are directly affected by the proposed Development. Include from the point of first egress from and ingress to the proposed Development to the intersection with the first County collector road or State road in all directions.

2. This project is **inside** / **outside** (circle one the Development District. Hollywood Town Center

3. Describe Existing Geometry, Road Conditions, ADT, PHV, LOS and Existing Speed Limit.

Existing Road(s)	Lane Width	Shoulder Width & Type	ADT	PHV	LOS	Existing Conditions
Mervell Dean Road	10'	2' asphalt	4201	431	C	30 MPH
Mervell Dean Road @ Clarks Landing Road	10'	2' asphalt	6708	639	A	30 MPH
MD 235 @ Airport Road/Mervell Dean Road	11'	10' asphalt	42,325	3967	A/C	55 MPH

4. If direct residential access to a public road is proposed, existing # lots & dwellings currently served by the access road = N/A

5. Additional # lots or units proposed = 18 townhouse units

6. Size of commercial/industrial building = N/A

7. Projected Zoning Ordinance or ITE trip generation rates = Zoning Ordinance

8. Specify independent variable used in computing ITE trip generation rates = per unit

9. Proposed ADT: 105 Proposed PHV: 8AM; 10PM Proposed LOS: A-C

10. Specify proposed/future improvements to the public facility:

Any improvements to be constructed by this developer will be in place prior to issuance of a certificate of occupancy for the homes.

11. CERTIFICATION

I hereby certify that the data shown hereon is correct, existing conditions are as stated, and projected traffic volumes will not lower the Level of Service below an acceptable Level of Service after development.

Signed: Jackie L Chandler

Date: February 10, 2024

# HCS Two-Lane Highway Report

## Project Information

Analyst	J. Chandler	Date	2/10/2024
Agency	Traffic Concepts, Inc.	Analysis Year	2023
Jurisdiction	St. Mary's County	Time Analyzed	PM Peak
Project Description	Mervell Dean Road	Units	U.S. Customary

## Segment 1

### Vehicle Inputs

Segment Type	Passing Constrained	Length, ft	5280
Measured FFS	Measured	Free-Flow Speed, mi/h	40.0

### Demand and Capacity

Directional Demand Flow Rate, veh/h	459	Opposing Demand Flow Rate, veh/h	-
Peak Hour Factor	0.94	Total Trucks, %	5.00
Segment Capacity, veh/h	1700	Demand/Capacity (D/C)	0.27

### Intermediate Results

Segment Vertical Class	1	Free-Flow Speed, mi/h	40.0
Speed Slope Coefficient (m)	4.62517	Speed Power Coefficient (p)	0.41674
PF Slope Coefficient (m)	-1.39581	PF Power Coefficient (p)	0.69801
In Passing Lane Effective Length?	No	Follower Density, followers/mi/ln	6.9
%Improvement to Percent Followers	0.0	%Improvement to Speed	0.0

### Subsegment Data

#	Segment Type	Length, ft	Radius, ft	Superelevation, %	Average Speed, mi/h
1	Tangent	5280	-	-	37.0

### Vehicle Results

Average Speed, mi/h	37.0	Percent Followers, %	55.5
Segment Travel Time, minutes	1.62	Adj. Follower Density, followers/mi/ln	6.9
Vehicle LOS	C		

### Bicycle Results

Percent Occupied Parking	0	Pavement Condition Rating	4
Flow Rate Outside Lane, veh/h	459	Bicycle Effective Width, ft	12
Bicycle LOS Score	5.15	Bicycle Effective Speed Factor	3.39
Bicycle LOS	E		

### Facility Results

T	VMT veh-mi/AP	VHD veh-h/p	Follower Density, followers/ mi/ln	LOS
1	108	0.22	6.9	C



STATE HIGHWAY  
ADMINISTRATION  
Station ID: S2003180002

County: St Marys  
Town: none  
Weather: CLEAR

Date: 8/3/2023 12:00:00 AM

Location: MD 944 at MD 944C/CLARKS LANDING RD

Interval: 60 Min

PEAK	AM PERIOD	Start	End	Volume	LOS	V/C	PM PERIOD	Start	End	Volume	LOS	V/C
Hours	6:00AM-12:00PM	12:00	13:00	503	A	0.14	12:00PM-19:00PM	16:00	17:00	639	A	0.23

Begin Hour	From North				From South				From East				From West				GrandTotal				
	U-Turn	Left	Through	Right	U-Turn	Left	Through	Right	TOTAL	U-Turn	Left	Through	Right	TOTAL	U-Turn	Left		Through	Right	TOTAL	
00:00	0	0	5	4	9	0	0	2	2	4	0	1	3	0	4	0	0	5	2	7	24
01:00	0	0	0	2	2	0	0	1	1	2	0	0	6	0	6	0	0	1	1	2	12
02:00	0	0	0	0	0	0	0	0	0	0	0	0	4	0	4	0	0	0	0	0	4
03:00	0	1	0	0	1	0	2	0	0	2	0	0	1	0	1	0	0	0	0	0	4
04:00	0	1	7	1	9	0	1	4	1	6	0	3	14	1	18	0	0	5	0	5	38
05:00	0	0	10	1	11	0	3	2	4	9	0	8	33	3	44	0	1	8	1	10	74
06:00	0	8	21	2	31	0	3	26	11	40	0	41	55	8	104	0	0	21	4	25	200
07:00	0	11	84	2	97	0	14	64	19	97	1	63	55	11	130	0	2	19	8	29	353
08:00	0	18	84	3	105	0	14	55	26	95	0	50	57	16	123	0	3	12	10	25	348
09:00	0	15	87	8	110	0	23	54	37	114	0	43	35	11	89	0	1	22	6	29	342
10:00	0	15	84	5	104	0	19	78	37	134	0	40	47	12	99	0	4	23	17	44	381
11:00	0	26	77	6	109	0	24	86	60	170	0	28	48	18	94	0	4	42	18	64	437
12:00	0	16	96	9	121	0	29	108	61	198	0	50	49	23	122	0	6	33	23	62	503
13:00	0	21	84	11	116	0	22	118	59	199	0	43	47	23	113	0	8	32	17	57	485
14:00	0	32	80	7	119	0	23	97	78	198	0	41	28	23	92	0	5	35	24	64	473
15:00	0	24	109	7	140	0	22	114	82	218	0	42	50	26	118	0	11	57	22	90	566
16:00	0	16	152	9	177	0	26	142	82	250	0	55	43	20	118	0	7	57	30	94	639
17:00	0	19	85	4	108	0	24	89	74	187	0	53	65	12	130	0	4	44	20	68	493
18:00	0	21	46	4	71	0	27	75	74	176	0	43	36	14	93	0	4	45	25	74	414
19:00	0	12	42	3	57	0	28	60	54	142	0	33	33	10	76	0	6	33	25	64	339
20:00	0	15	40	2	57	0	19	64	35	118	0	18	25	10	53	0	2	24	23	49	277
21:00	0	5	8	4	17	0	11	28	18	57	0	2	19	5	26	0	4	22	4	30	130
22:00	0	4	17	6	27	0	7	18	8	33	0	2	22	9	33	0	4	15	2	21	114
23:00	0	2	7	3	12	0	4	7	2	13	0	5	12	0	17	0	1	12	3	16	58
<b>TOTAL</b>	<b>0</b>	<b>282</b>	<b>1225</b>	<b>103</b>	<b>1610</b>	<b>0</b>	<b>345</b>	<b>1292</b>	<b>825</b>	<b>2462</b>	<b>1</b>	<b>664</b>	<b>787</b>	<b>255</b>	<b>1707</b>	<b>0</b>	<b>77</b>	<b>567</b>	<b>285</b>	<b>929</b>	<b>6708</b>
<b>AMPEAK</b>	<b>0</b>	<b>16</b>	<b>96</b>	<b>9</b>	<b>121</b>	<b>0</b>	<b>29</b>	<b>108</b>	<b>61</b>	<b>198</b>	<b>0</b>	<b>50</b>	<b>49</b>	<b>23</b>	<b>122</b>	<b>0</b>	<b>6</b>	<b>33</b>	<b>23</b>	<b>62</b>	<b>503</b>
<b>PMPEAK</b>	<b>0</b>	<b>16</b>	<b>152</b>	<b>9</b>	<b>177</b>	<b>0</b>	<b>26</b>	<b>142</b>	<b>82</b>	<b>250</b>	<b>0</b>	<b>55</b>	<b>43</b>	<b>20</b>	<b>118</b>	<b>0</b>	<b>7</b>	<b>57</b>	<b>30</b>	<b>94</b>	<b>639</b>
<b>DAYPEAK</b>	<b>0</b>	<b>16</b>	<b>152</b>	<b>9</b>	<b>177</b>	<b>0</b>	<b>26</b>	<b>142</b>	<b>82</b>	<b>250</b>	<b>0</b>	<b>55</b>	<b>43</b>	<b>20</b>	<b>118</b>	<b>0</b>	<b>7</b>	<b>57</b>	<b>30</b>	<b>94</b>	<b>639</b>



Turning Movement Summary Report

Station ID: S2001180007

County: St. Marys

Comments:

Date: 7/18/2023 12:00:00 AM

Town: none

Location: MD 235 at MD 944F (Airport Dr)/Mervell Dean Rd

Weather: CLEAR

Interval: 60 Min

PEAK	AM PERIOD	Start	End	Volume	LOS	V/C	PM PERIOD	Start	End	Volume	LOS	V/C
Hours	6:00AM-12:00PM	07:00	08:00	2965	A	0.54	12:00PM-19:00PM	16:00	17:00	3967	C	0.76

MD 235

MERVELL DEAN DR

MD 235

MD 235

AIRPORT DR

MERVELL DEAN DR

MD 235

MD 235

Begin Hour	From North					From South					From East					From West					GrandTotal
	U-Turn	Left	Through	Right	TOTAL	U-Turn	Left	Through	Right	TOTAL	U-Turn	Left	Through	Right	TOTAL	U-Turn	Left	Through	Right	TOTAL	
00:00	0	0	82	3	85	1	0	46	5	52	0	1	0	0	1	0	1	0	0	1	139
01:00	0	0	47	0	47	0	0	36	4	40	0	5	0	0	5	0	1	0	0	1	93
02:00	0	0	28	4	32	0	1	46	1	48	0	1	0	0	1	0	2	0	1	3	84
03:00	0	0	45	1	46	0	0	101	2	103	0	2	0	0	2	0	4	1	0	5	156
04:00	0	0	208	3	211	0	7	253	4	264	0	7	0	0	7	0	5	1	1	7	489
05:00	0	0	588	23	611	2	16	436	1	455	0	17	4	0	21	0	13	0	2	15	1102
06:00	0	0	997	75	1072	20	77	752	26	875	0	51	5	0	56	0	25	4	8	37	2040
07:00	2	0	1369	144	1515	11	187	932	58	1188	0	141	23	2	166	0	53	4	39	96	2965
08:00	0	1	1177	130	1308	3	116	877	74	1070	0	102	18	3	123	0	68	10	46	124	2625
09:00	0	0	957	102	1059	1	80	775	76	932	0	117	16	4	137	0	56	8	41	105	2233
10:00	0	1	872	84	957	3	62	832	78	975	0	99	14	3	116	0	75	11	53	139	2187
11:00	2	1	992	96	1091	3	96	904	102	1105	0	113	15	3	131	0	95	20	149	264	2591
12:00	1	0	906	86	993	5	144	951	139	1239	0	136	18	3	157	0	90	18	140	248	2637
13:00	1	0	856	78	935	4	91	1046	112	1253	0	125	9	1	135	0	84	14	52	150	2473
14:00	1	0	834	64	899	2	57	1145	152	1356	0	109	7	2	118	0	83	15	77	175	2548
15:00	0	2	1007	93	1102	11	56	1446	165	1678	0	136	7	4	147	0	129	20	128	277	3204
16:00	1	0	1230	136	1367	1	79	1709	199	1988	0	141	14	1	156	0	209	36	211	456	3967
17:00	0	1	1104	103	1208	26	58	1476	149	1709	0	129	18	1	148	0	165	29	116	310	3375
18:00	1	0	951	59	1011	32	51	943	106	1132	0	105	8	1	114	0	81	8	46	135	2392
19:00	0	0	666	44	710	36	17	767	106	926	0	89	6	3	98	0	60	12	37	109	1843
20:00	1	1	508	40	550	41	21	555	59	676	0	55	6	2	63	0	59	12	27	98	1387
21:00	1	1	401	23	426	15	10	378	38	441	0	34	2	0	36	0	22	8	7	37	940
22:00	0	0	225	8	233	7	2	263	15	287	0	11	1	1	13	0	17	1	3	21	554
23:00	0	0	129	4	133	4	2	133	11	150	0	6	0	1	7	0	5	1	5	11	301
<b>TOTAL</b>	<b>11</b>	<b>8</b>	<b>16179</b>	<b>1403</b>	<b>17601</b>	<b>228</b>	<b>1230</b>	<b>16802</b>	<b>1682</b>	<b>19942</b>	<b>0</b>	<b>1732</b>	<b>191</b>	<b>35</b>	<b>1958</b>	<b>0</b>	<b>1402</b>	<b>233</b>	<b>1189</b>	<b>2824</b>	<b>42325</b>
<b>AMPEAK</b>	<b>2</b>	<b>0</b>	<b>1369</b>	<b>144</b>	<b>1515</b>	<b>11</b>	<b>187</b>	<b>932</b>	<b>58</b>	<b>1188</b>	<b>0</b>	<b>141</b>	<b>23</b>	<b>2</b>	<b>166</b>	<b>0</b>	<b>53</b>	<b>4</b>	<b>39</b>	<b>96</b>	<b>2965</b>
<b>PMPEAK</b>	<b>1</b>	<b>0</b>	<b>1230</b>	<b>136</b>	<b>1367</b>	<b>1</b>	<b>79</b>	<b>1709</b>	<b>199</b>	<b>1988</b>	<b>0</b>	<b>141</b>	<b>14</b>	<b>1</b>	<b>156</b>	<b>0</b>	<b>209</b>	<b>36</b>	<b>211</b>	<b>456</b>	<b>3967</b>
<b>DAYPEAK</b>	<b>1</b>	<b>0</b>	<b>1230</b>	<b>136</b>	<b>1367</b>	<b>1</b>	<b>79</b>	<b>1709</b>	<b>199</b>	<b>1988</b>	<b>0</b>	<b>141</b>	<b>14</b>	<b>1</b>	<b>156</b>	<b>0</b>	<b>209</b>	<b>36</b>	<b>211</b>	<b>456</b>	<b>3967</b>

**From:** Pradip Patel (D5 SHA) <PPatel10@mdot.maryland.gov>  
**Sent:** Thursday, July 6, 2023 3:30 PM  
**To:** Sianli Blasco  
**Cc:** Jonathan Makhoulf; Brandy Glenn; Jessica Burch  
**Subject:** RE: CSP23-0225 The Villages of Clark's Mill SHA Review

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**CAUTION: This email originated from OUTSIDE of St. Mary's County Government! Do not click links, open attachments or reply, unless you recognize the sender's Email Address and know the content is safe!**

Good afternoon Ms. Blasco:

Thank you for the opportunity to review a pdf copy of a minor site plan submission on the referenced project. Upon review of its offer the followings:

- The proposed residential development site (3.70 acres) is located at 44405 to 44425 Marvel Dean Road, Hollywood in St. Mary's County. Proposing 14 dwelling units with 18-parking spaces and access from County/Local Road, Marvel Dean Road.
- The proposed residential development will have no impact to the MDOT MD 235 right-of-way. The MDOT SHA has no objection.

Any additional work that may result i.e., offsite mitigation or State ROW improvements will require an SHA District 5 Access Permit.

Please submit the plans and supporting documentation in PDF format using the Access Management Electronic Plans Submittal system. The system can be accessed at [www.roads.maryland.gov](http://www.roads.maryland.gov) by selecting the Business Center drop down menu and Permits and Miss Utility Information, and click the link stating, "Click here for Electronic plans Submittal Link".

If you have any questions, feel free to contact Mr. Jonathan Makhoulf at 410-841-1084 or email [jmakhoulf2@mdot.maryland.gov](mailto:jmakhoulf2@mdot.maryland.gov).

Thank you,

Pradip Patel

---

**From:** Jonathan Makhoulf <[JMakhoulf2@mdot.maryland.gov](mailto:JMakhoulf2@mdot.maryland.gov)>  
**Sent:** Thursday, July 6, 2023 11:41 AM  
**To:** Pradip Patel (D5 SHA) <[PPatel10@mdot.maryland.gov](mailto:PPatel10@mdot.maryland.gov)>  
**Subject:** FW: CSP23-0225 The Villages of Clark's Mill



**St. Mary's County Metropolitan Commission**

23121 Camden Way, California, MD 20619

*Serving our customers since 1964*

[www.metcom.org](http://www.metcom.org)

Potable Water Distribution - Wastewater Collection / Treatment

Phone: 301-737-7400  
FAX: 301-737-7459

---

**REVISED TEC AGENCY CONCEPT  
APPROVAL TRANSMITTAL**

**TO:** Department of Land Use and Growth Management

**FROM:** St. Mary's County Metropolitan Commission

**RE:** CSP23-0225 The Villages of Clark's Mill – 44410 K & R Way  
Control Number and Project Name

**DATE:** April 17, 2024

The above-referenced project satisfactorily addresses the TEC requirements for concept only and is ready for approval for the Planning Commission, if necessary.

YES

NO

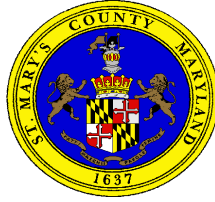
1. Water and sewer construction plans are required for MetCom review and approval. Please submit construction plans, all necessary review fees, and the review checklist directly to MetCom for review.

**SIGNATURE:** \_\_\_\_\_

*Anna Wells*

**Anna Wells, P.E., MetCom Senior Engineer**





Robert Kelly, CIO

Case No.: CSP23-0225

ADDRESSING COMMENTS

Review Date: July 28, 2023

DESCRIPTION: CONCEPT SITE PLAN  
VILLAGES OF CLARKS MILL

OWNER(S): FDR HOLDINGS, LLC

AGENT: J HOPSON CONSULTING, LLC

LOCATION: 44405, 44410, 44415, 44420 & 44425 K&R WAY, HOLLYWOOD, MD

TAX ID(S): 06-068294, 06-068308, 06-068286, 06-068314, 06-068316 &  
06-049621

ACTION: REVIEW OF A CONCEPT SITE PLAN

**COMMENTS:**

1. The proposed access needs to be named (CSO §30.14.6.). Please send your client's choice of road name(s), in order of preference, to [addressing@stmaryscountymd.gov](mailto:addressing@stmaryscountymd.gov). It is recommended they choose at least one alternate road name for the access, so a name meeting the County criteria can be reserved for their project, as soon as possible. If the access is to be a private road, the suffix must be WAY or LANE.
2. Premise addresses will be assigned when townhome/lot locations are approved or during the major site plan review.

Comments based on the plan signed 06/23/2023 and received by IT on 07/06/2023 for review. If lot configuration or right of way access is changed, the premise address(es) may need to be reassigned.

Respectfully,

Jackie Green  
**Addressing Technician**  
Dept. Information Technology  
St. Mary's County Government  
Tel: 301-475-4200 Ext. \*1544  
[addressing@stmarysmd.com](mailto:addressing@stmarysmd.com)





ST. MARY'S COUNTY  
HEALTH DEPARTMENT

Meenakshi G. Brewster, MD, MPH - Health Officer

Administration, Records & Health Services: 301 - 475 - 4330

Environmental Health: 301 - 475 - 4321

Medical Assistance Transportation: 301 - 475 - 4296

Maryland Relay Service: 1 - 800 - 735 - 2258

Email: smchd.env@maryland.gov

LUGM#: CSP23-0225

Transmittal Form

Owner/Applicant: FDR Holdings LLC

Surveyor: Hopson

Property Location: 44410 K & R Way

Tax Map: 34 Grid: 8 Parcel: 613

Section: \_\_\_\_\_ Lot: 4 District: 6

Subdivision: K & R Subdivision

Property ID: 6068308

SMCHD File #: 293-97

Date Received: 7-7-23 Number of Copies: 1

Ok For Sign-Ok For Record Set-Ok For Perc Preservation-No Objection

Needs Revisions- See Comments

Reviewed/Signed By: Rachel Murphy

Date: 8/1/23

No Objection  
to site plan  
to concept  
site plan

\* See comments

## Sianli Blasco

---

**From:** Jay Hopson <JayH@jhc-llc.com>  
**Sent:** Wednesday, February 28, 2024 1:37 PM  
**To:** Sianli Blasco; Brandy Glenn  
**Subject:** Fwd: The Villages at Clarks Mill

**CAUTION: This email originated from OUTSIDE of St. Mary's County Government! Do not click links, open attachments or reply, unless you recognize the sender's Email Address and know the content is safe!**

Here is the SCD submittal. I spoke to Jesse and he will have the APF signed sometime this week or early next week.

Thanks

----- Forwarded message -----

**From:** [bruce.young@stmarysscd.com](mailto:bruce.young@stmarysscd.com) <[Bruce.Young@stmarysscd.com](mailto:Bruce.Young@stmarysscd.com)>  
**Date:** Fri, Feb 23, 2024 at 1:56 PM  
**Subject:** The Villages at Clarks Mill  
**To:** Jay Hopson <[JayH@jhc-llc.com](mailto:JayH@jhc-llc.com)>

Jay,

I have reviewed your last submittal and you have addressed the outstanding comments for the concept SWM E&S plan. The SCD approves the Concept SWM E&S plan and you may submit the site development plan when all other agencies have also approved the concept. I am not sure which LUGM number I need to reference. Please contact me if you have any questions.

Thank you,

Bruce A. Young

District Manager

St. Mary's Soil Conservation District

26737 Radio Station Way, Ste. B

Leonardtown, MD 20650

301-475-8402 Ext. 3

<https://stmarysscd.com>



**St. Mary's County Public Schools  
Division of Supporting Services**

**Department of Capital Planning**  
27190 Point Lookout Road  
Loveville, Maryland 20656

Phone: 301-475-4256 ext. 6; Fax: 301-475-4255

**Ms. Kimberly Howe**  
Director

July 17, 2023

FDR Holdings, LLC  
c/o J Hopson Consulting, LLC  
P.O. Box 462  
Solomons, Maryland 20688  
[JAYH@JHC-LLC.COM](mailto:JAYH@JHC-LLC.COM)

<b>Case File No.:</b>	<u>CSP 23-0225</u>
<b>Name of File:</b>	<u>The Villages of Clark's Mill</u>
<b>Type of Development:</b>	<u>Concept review of 18-unit townhouse development</u>


Dear Mr. Benefield:

The St. Mary's County Public Schools (SMCPS) role in the Technical Evaluation Committee (TEC) process includes a review and recommendation on bus stops for residential housing projects with five or more lots/dwelling units.

The bus stop for this project would be located at the intersection of Mervell Dean Road and the entrance to the development. This bus stop will serve elementary, middle, and high school students. Bus stops within residential developments are effective once the county formally accepts the roads within the subdivision. By school system policy, buses do not typically enter active construction sites or roads the county has not formally accepted. The above referenced bus stop has been designated based on the plan currently under review. St. Mary's County Public Schools reserves the right to review the placement of bus stops again in any future phases of development.

If you have any questions or need additional information, please do not hesitate to contact my office at (301) 475-4256, extension 6.

Sincerely,



Kimberly Howe  
Director of Capital Planning

KH:meh

cc: Jessica Burch, Department of Land Use and Growth Management  
[Jessica.Burch@stmaryscountymd.gov](mailto:Jessica.Burch@stmaryscountymd.gov)