STANDAR	PD DRAWING FOR ENTIRE PLAN SET	LEG	END
LIMIT OF WORK		—LOW—	LOW
LIMIT OF DISTUR	RBANCE ———	—LOD——	LOD
EXISTING NOTE	TYPICAL NOTE TEXT		PROPOSED NOTE
	ONSITE PROPERTY LINE / R.O.W. LINE		
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE		
	EASEMENT LINE		
	SETBACK LINE		

	CONCRETE CURB & GUTTER	SPILL TRANSITION DEPRESSED CURB AND GUTTER
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	E
D€	TRAFFIC LIGHT	⊙ €
0	UTILITY POLE	0
	TYPICAL LIGHT	6
\$	ACORN LIGHT	\$
<u></u> ₩	TYPICAL SIGN	
X	PARKING COUNTS	<u>x</u>
— — —170— — — 169	CONTOUR LINE	190 187
TC 516.4 OR 516.4	SPOT ELEVATIONS	TC 516.00 TC 516.00 MATCH EX (518.02 ±)
SAN #	SANITARY LABEL	SAN #
X	STORM LABEL	X #
SL	SANITARY SEWER LATERAL	SL
	UNDERGROUND WATER LINE	w

SZ	_ SANITARY SEWER	-SL		
	LATERAL UNDERGROUND			STANDARD
W	WATER LINE	W	AI	BBREVIATIONS
E	_ UNDERGROUND ELECTRIC LINE	Е		FOR ENTIRE PLAN SET
	UNDERGROUND		AC	ACRES
G	_ GAS LINE	G	ADA	AMERICANS WITH DISABILITY ACT
OH	_ OVERHEAD	OH	ARCH	ARCHITECTURAL
	WIRE	OII	ВС	BOTTOM OF CURB
	_ UNDERGROUND TELEPHONE LINE		BF	BASEMENT FLOOR
	UNDERGROUND		ВК	BLOCK
C	_ CABLE LINE	C	BL	BASELINE
	_ STORM		BLDG	BUILDING
	- SEWER		ВМ	BUILDING BENCHMARK
	SANITARY	s	BRL	BUILDING RESTRICTION LINE
	SEWER MAIN		CF	CUBIC FEET
∇	HYDRANT	∇	CL	CENTERLINE
	SANITARY		CMP	CORRUGATED METAL PIPE
(S)	MANHOLE		CONN	CONNECTION
(D)	STORM	(()	CONC	CONCRETE
	MANHOLE		CPP	CORRUGATED PLASTIC PIPE
⊗ ^{WM}	WATER METER	•	CY	CUBIC YARDS
WV	WETER		DEC	DECORATIVE
\bowtie	WATER VALVE		DEP	DEPRESSED
	GAS		DIP	DUCTILE IRON PIPE
	VALVE	Ш	DOM	DOMESTIC
\boxtimes	GAS	\boxtimes	ELEC	ELECTRIC
	METER		ELEV	ELEVATION
	TYPICAL END		EP	EDGE OF PAVEMENT
> m	SECTION		ES	EDGE OF SHOULDER
OR	HEADWALL OR ENDWALL	OR	EW	END WALL
	GRATE		EX	EXISTING
	INLET		FES	FLARED END SECTION
	CURB	O	FF	FINISHED FLOOR
	INLET		FH	FIRE HYDRANT
0	CLEAN OUT	0	FG	FINISHED GRADE
	ELECTRIC		G	GRADE (AT DOOR)
E	MANHOLE	E	GF	GARAGE FLOOR (AT DOOR)
(7)	TELEPHONE	(Ť)	GH	GRADE HIGHER SIDE OF WALL
· · ·	MANHOLE		GL	GRADE LOWER SIDE OF WALL
EB	ELECTRIC BOX	EB	GRT	GRATE GATE VALVE
EP	ELECTRIC PEDESTAL	EP	HDPE	HIGH DENSITY POLYETHYLENE PIPE
	MONITORING		HP	HIGH POINT
	WELL	\bigotimes	HOR	HORIZONTAL
	TEST	, P	HW	HEADWALL
	PIT		INT	INTERSECTION
	BENCHMARK	lacksquare	INV	INVERT
			LF	LINEAR FOOT
	BORING	lacktriangle	LOC	LIMITS OF CLEARING

<u>GENERAL NOTE:</u>
It is the responsibility of the contractor to review all of the drawings and specifications associated with this project or scope prior to the initiation of construction. Should the contractor find a conflict with the documents relative to

HE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN PRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE

PTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS ANI

R RADIUS RCP REINFORCED CONCRETE PIPI RET WALL RETAINING WALL R/W RIGHT OF WAY S SLOPE SAN SANITARY SEWER SF SQUARE FEET STA STATION STM STORM S/W SIDEWALK TBA TO BE ABANDONED TBR TO BE REMOVED TBRL TO BE RELOCATED TBV TO BE VACATED TC TOP OF CURB TELE TELEPHONE TPF TREE PROTECTION FENCE TW TOP OF WALL TYP TYPICAL UG UNDERGROUND UP UTILITY POLE W WIDE W/L WATER LINE W/M WATER METER			
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TPF TREE PROTECTION FENCE TW TOP OF WALL TYP TYPICAL UG UNDERGROUND UP UTILITY POLE W WIDE W/L WATER LINE W/M WATER METER	TC	TOP OF CURB	
TW TOP OF WALL TYP TYPICAL UG UNDERGROUND UP UTILITY POLE W WIDE W/L WATER LINE W/M WATER METER	TELE	TELEPHONE	
TYP TYPICAL UG UNDERGROUND UP UTILITY POLE W WIDE W/L WATER LINE W/M WATER METER	TPF	TREE PROTECTION FENCE	
UG UNDERGROUND UP UTILITY POLE W WIDE W/L WATER LINE W/M WATER METER	TW	TOP OF WALL	_
UP UTILITY POLE W WIDE W/L WATER LINE W/M WATER METER	TYP	TYPICAL	
W WIDE W/L WATER LINE W/M WATER METER	UG	UNDERGROUND	
W/L WATER LINE W/M WATER METER	UP	UTILITY POLE	
W/M WATER METER	W	WIDE	
	W/L	WATER LINE	
DILIC OD MINILO	W/M	WATER METER	
FLUS OR MINUS	±	PLUS OR MINUS	
° DEGREE	0	DEGREE	
Ø DIAMETER	Ø		
# NUMBER	#	NUMBER	

CONCEPT SITE PLAN

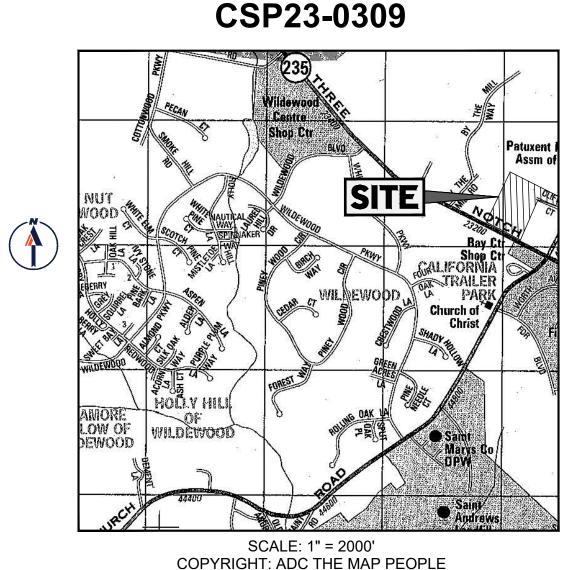
FOR -

TIDAL WAVE AUTO SPA

PROPOSED

CAR WASH W/ DRIVE-THRU

23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619
LOT 500-22
TAX MAP 34, GRID 16, PARCEL 47



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PREPARED BY

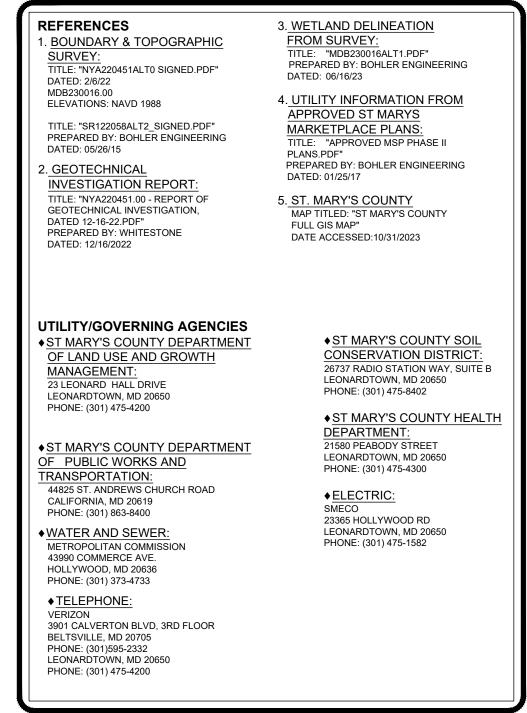
BOHLER//

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REFERENCES AND CONTACTS



* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES

REVISIONS

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PROJECT No.: MDB230016.0
DRAWN BY: CHECKED BY: M

CNDS-0

PROJECT:

DATE: CAD I.D.:

> CONCEPT SITE PLAN

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD
CALIFORNIA, MD 20619

ST MARY'S COUNTY LOT 500-22 TAX MAP 34, GRID 16, PARCEL 47 CSP23-0309

BOHLER

16701 MELFORD BLVD , SUITE 310 BOWIE, MARYLAND 20715 Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com



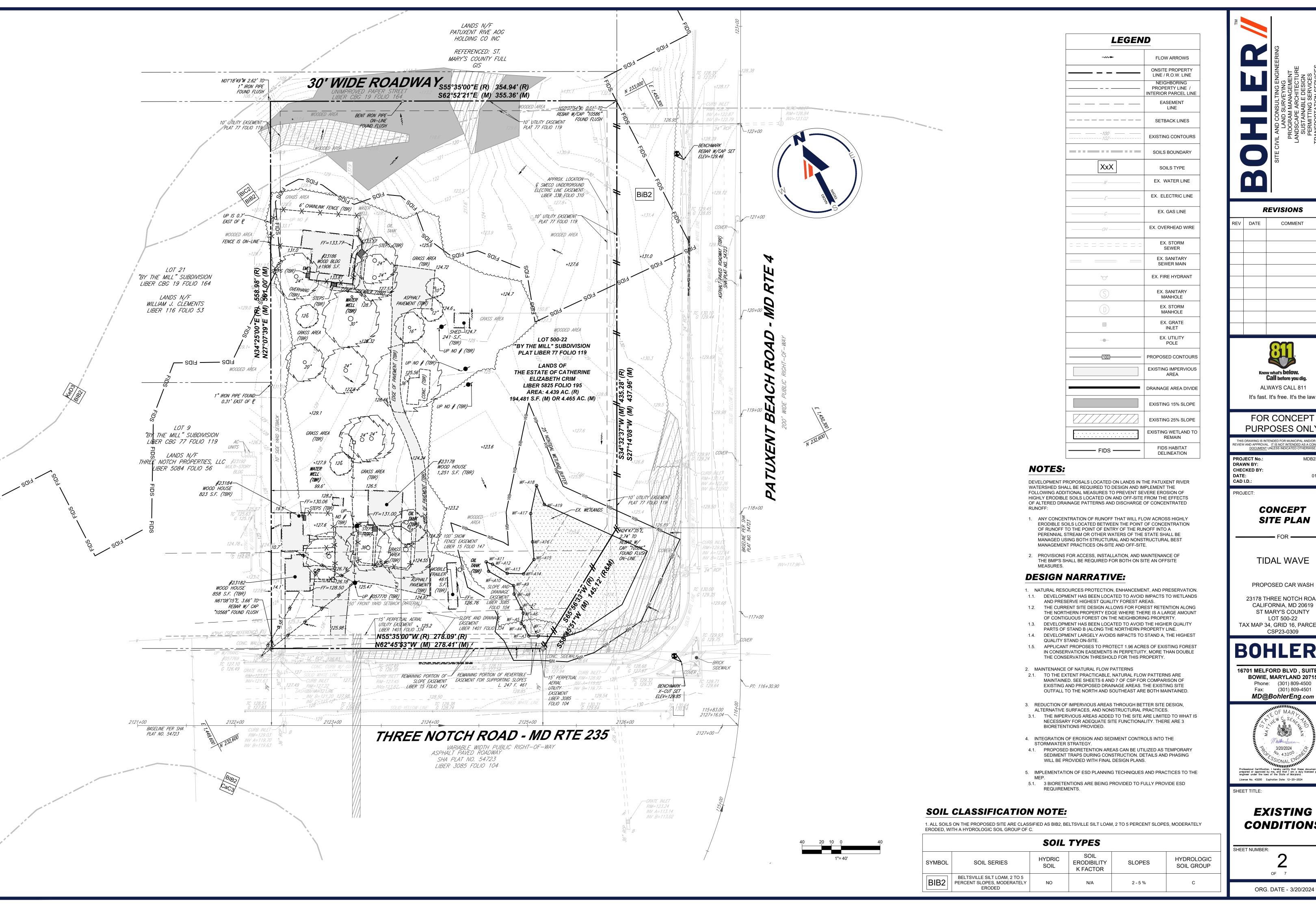
UCCT TITI C:

COVER SHEET

License No. 43200 Expiration Date: 12-20-2024

SHEET NUMBER:

1OF 7



REVISIONS						
DATE	COMMENT	DRAWN BY				
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	DATE					



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<u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.

PROJECT No.: 01/19/2024

CONCEPT SITE PLAN

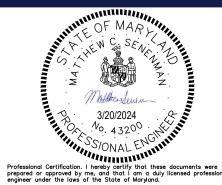
TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY

LOT 500-22 TAX MAP 34, GRID 16, PARCEL 47 CSP23-0309

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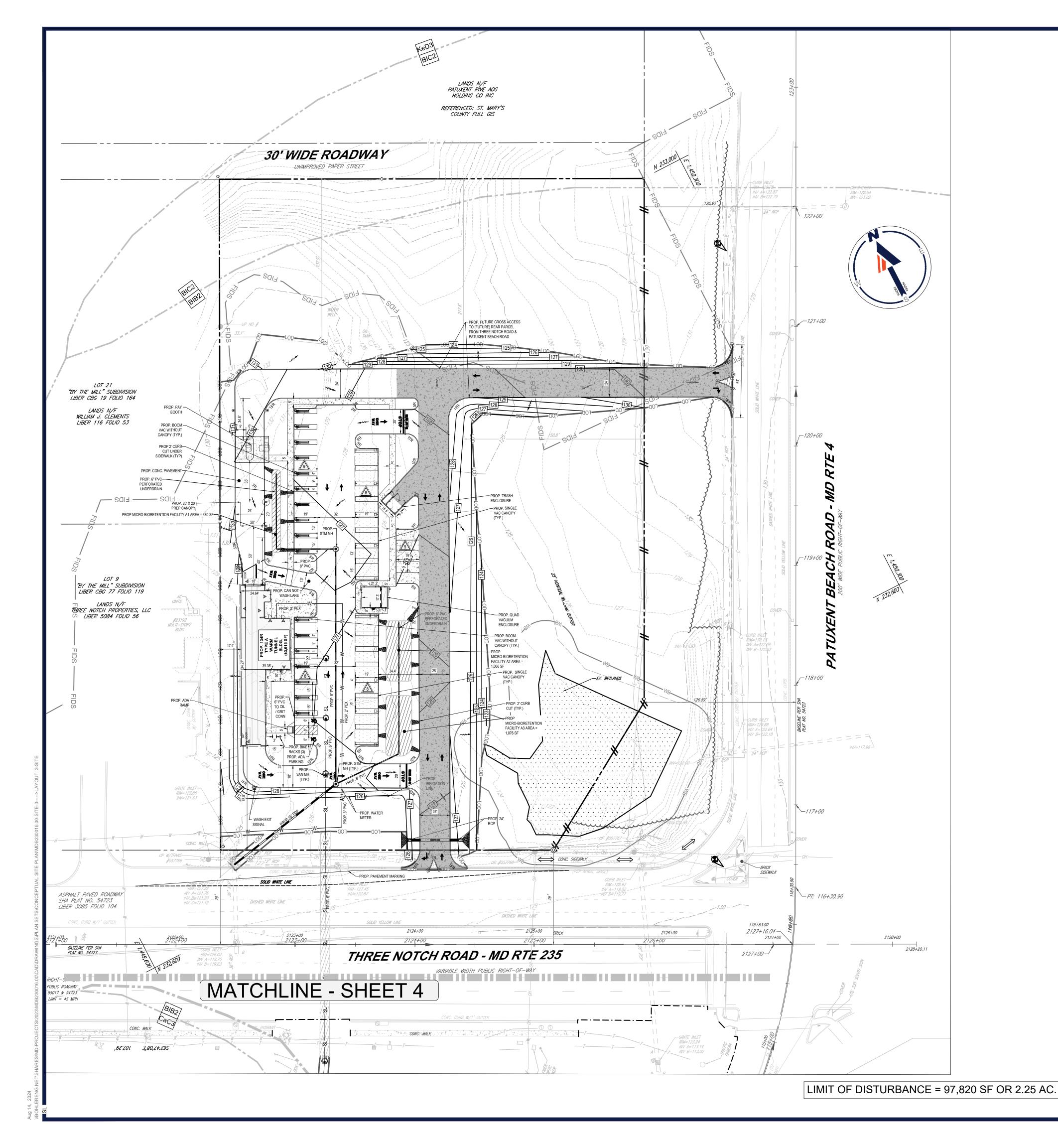
License No. 43200 Expiration Date: 12-20-2024

SHEET TITLE:

EXISTING CONDITIONS

SHEET NUMBER:

OF 7





1. . THIS PLAN IS BASED UPON:

TITLE: "NYA220451ALT0 SIGNED.PDF" DATED:A:A:A:1. 2/6/22 MDB230016.00 **ELEVATIONS: NAVD 1988** TITLE: "SR122058ALT2_SIGNED.PDF"

PREPARED BY: BOHLER ENGINEERING DATED: 05/26/15

2. PROPERTY DATA:

TAX MAP: 34, GRID: 16, PARCEL: 47 ZONING: MXM ZONING OVERLAY: AE-4, AREA: 4.40 AC (191,664 SF) DEED: 5825/195

EX. WATER CATEGORY W-3D, EX. SEWER CATEGORY S-3D PROP. WATER CATEGORY W-3D, PROP. SEWER CATEGORY S-3D

3. USE: EXISTING: RESIDENTIAL PROPOSED: CAR WASH (#62)

4. POTENTIAL FIDS HABITAT EXISTS ON SITE, AS SHOWN ON SHEET TWO

5. PEAK HOUR TRIPS FOR PROPOSED DEVELOPMENT: 138

6. THE MICROBIORETENTION FACILITIES WERE CHOSEN TO TREAT STORMWATER FOR THIS SITE BECAUSE THE PROPOSED DEVELOPMENT INCLUDES A CAR WASH BUILDING AND PARKING LOT AREAS. WATER WILL BE ROUTED FROM THE PARKING LOT AS SHEET FLOW INTO THE BIORETENTION FACILITIES VIA CURB CUTS FOR TREATMENT.

4. BULK REQUIREMENTS:	ALLOWED/REQUIRED	PROVIDED
A. MIN. LOT DIMENSIONS		
MINIMUM LOT AREA	NONE	191,664 SF +/-
MINIMUM LOT WIDTH	NONE	408.8' +/-
MINIMUM LOT DEPTH	NONE	405.6' +/-
MINIMUM LOT FRONTAGE	NONE	170.8' +/-
B. DEVELOPMENT INTENSITY		
MAX FOOTPRINT OF A COMMERCIAL STRUCTURE BY RIGHT	40,000 SF	3,615 SF +/-
MAXIMUM BUILDING HEIGHT	100'	25' +/-
BASE FLOOR AREA RATIO	0.60	0.04 (3,615/95,525)
MAXIMUM FLOOR AREA RATIO	0.75	0.04
C. MIN. BUILDING SETBACK		
FRONT SETBACK	50'	
REAR SETBACK	20'	
SIDE SETBACK	10'	
SIDE SETBACK	10'	
MIN. SEPARATION BETWEEN DETACHED PRINCIPAL STRUCTURES	0	N/A
D. PARKING/LOADING REQUIREMENTS		
CAR WASH (3,615 SF) 2 PER SERVICE BAY OR 1 PER 1,000 SQ. FT. WHICHEVER IS GREATER, PLUS QUEUE FOR 2 CARS PER WASH STATION	30	15 SERVICE BAYS + 23 PARKING SPACES
TOTAL	30	38
ADA SPACES: 1 FOR 1-25 SPACES 2 FOR 26-50 SPACES (33 SPACES = 2 ADA SPACE)	2 (1 VAN ACCESSIBLE)	2 (1 VAN ACCESSIBLE)
STANDARD LOADING SPACE	N/A	N/A
MIN. PARKING SPACE DIMENSIONS	9' x 18'	9' X 19'
MIN. DRIVE AISLE WIDTH	22' (TWO WAY TRAFFIC)	25' (TWO WAY TRAFFIC)
E. PARKING LOT LANDSCAPING STANDARDS		
PARKING AREA (10% OF NET PARKING LOT AREA PLUS 200 S.F. PER SPACE IN EXCESS OI CODE REQUIREMENT)	1,460 SF (.10*14,601)	947 SF*
MIN. ONE (1) TREE PER 10 SPACES WITHIN PARKING LOT	2	2
MIN LANDSCAPED AREA (TOTAL SITE)	20% (38,332 SF)	10.3% (19,759 SF)

	LEG	END	
- ₩ >	FLOW ARROWS	========	EX. STORM SEWER
	ONSITE PROPERTY LINE / R.O.W. LINE	_ = =	EX. SANITARY SEWER MAIN
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	V	EX. FIRE HYDRANT
	EASEMENT LINE	S	EX. SANITARY MANHOLE
	SETBACK LINES	D	EX. STORM MANHOLE
	EXISTING CONTOURS	III	EX. GRATE INLET
	EX. WATER LINE		EX. UTILITY POLE
E	EX. ELECTRIC LINE	[100]	PROPOSED CONTOURS
-G	EX. GAS LINE		PROPOSED HEAVY DUTY CONCRETE
OH	EX. OVERHEAD WIRE		PROPOSED SIDEWALK
		(//////////////////////////////////////	DIRECTIONAL BORE

Schedule 70.5: Summary information on Development Impacts

Subdivision Name/Site Plan Name TIDAL WAVE-CALIFORNIA, MD Phase Planned start of construction date TBD Planned end of construction date TBD	Before development	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10	At Buildout
Dwelling units	1	0								ļ		0
Non-residential development square footage	0 SF	3,615 SF]		3,615 SF
Total Trip generation from residences	0	0										0
Total Trip generation from non-residential development	0	780										780
School population												
Elementary							i i					
Middle												
High												
Average daily water usage	0	10,000								į		10,000
Average daily sewage flow	0	10,000										10,000
Fire suppression water supply and Stormwater Management.	0											



REVISIONS

REV DATE COMMENT

			CHLCKED



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01/19/2024 SWCP-0

DRAWN BY: CHECKED BY: DATE: CAD I.D.:

PROJECT:

CONCEPT SITE PLAN

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY LOT 500-22 TAX MAP 34, GRID 16, PARCEL 47

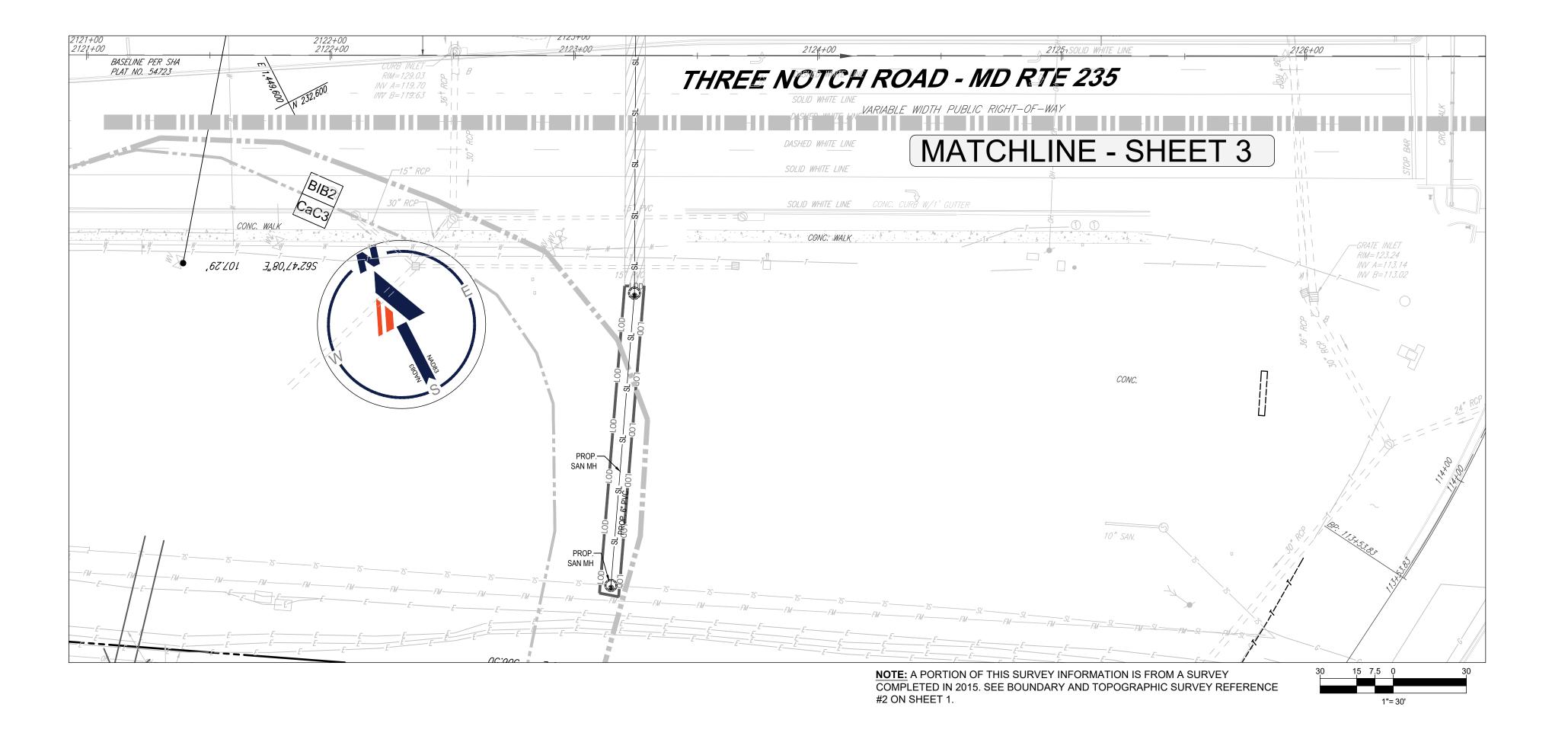
CSP23-0309

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CONCEPT SITE PLAN

OF 7



LEGEN	<u>ID</u>
- ₩ ►	FLOW ARROWS
	ONSITE PROPERTY LINE / R.O.W. LINE
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
	EASEMENT LINE
	SETBACK LINES
	EXISTING CONTOURS
W	EX. WATER LINE
Ε	EX. ELECTRIC LINE
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	EX. SANITARY SEWER MAIN
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S	EX. SANITARY MANHOLE
D	EX. STORM MANHOLE
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-•-	EX. UTILITY POLE
[100]	PROPOSED CONTOURS
4 4 4 4 4 8	PROPOSED HEAVY DUTY CONCRETE
# # # # # # # # # # # # # # # # # # #	PROPOSED SIDEWALK
	DIRECTIONAL BORE



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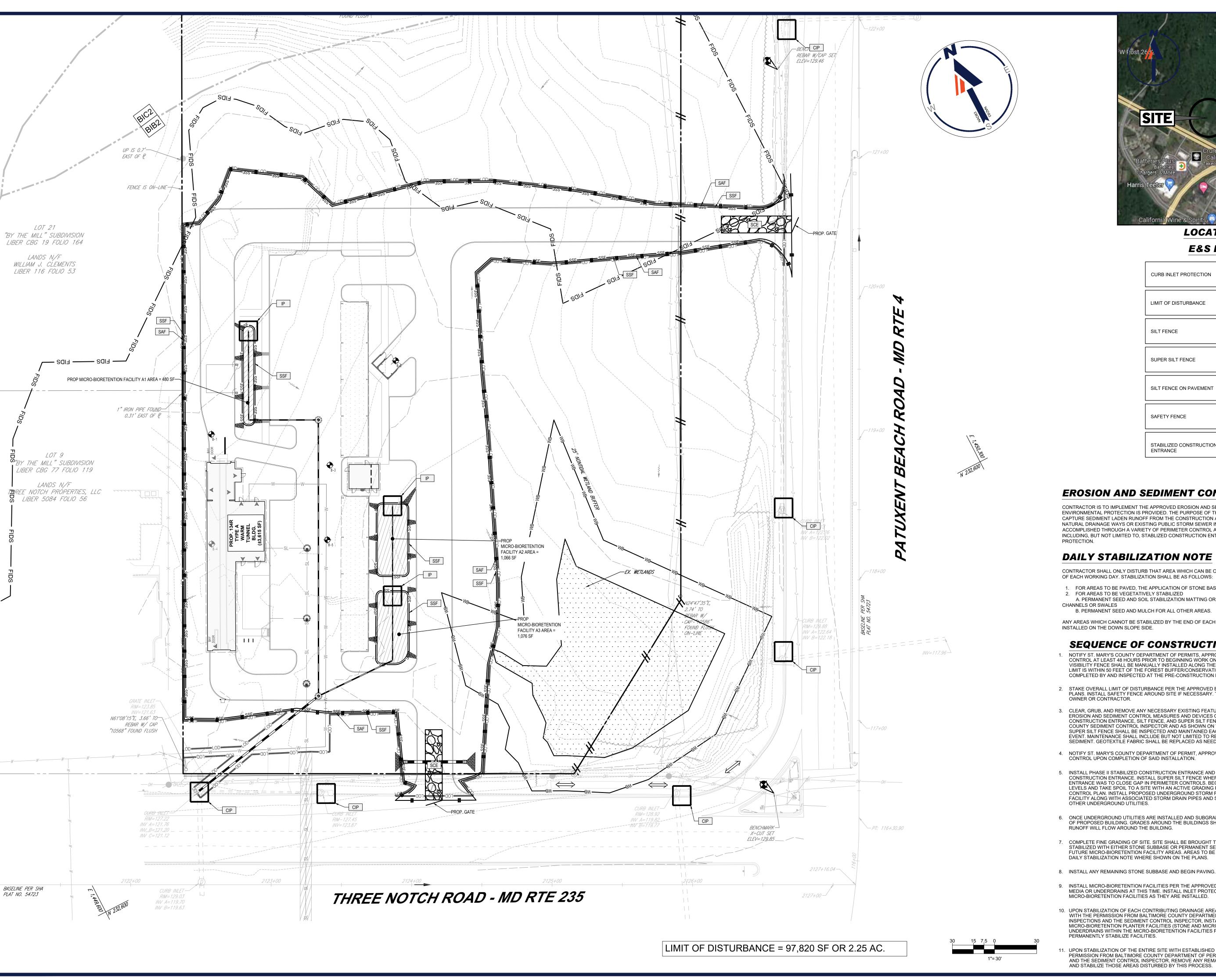


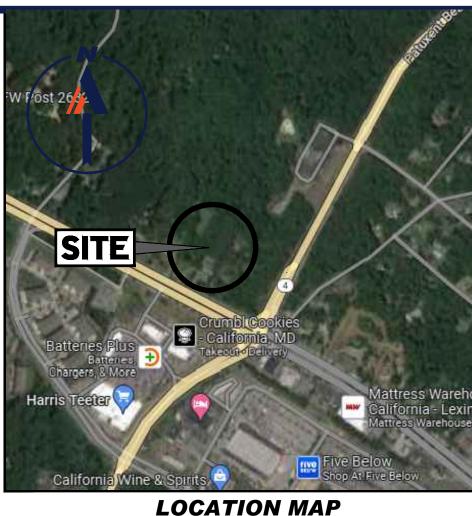
SHEET TITLE:

CONCEPT SITE PLAN

ET NI IMRED:

4 OF 7





LOCATION MAP E&S LEGEND

CURB INLET PROTECTION	
LIMIT OF DISTURBANCE	LOD
SILT FENCE	
SUPER SILT FENCE	SSF
SILT FENCE ON PAVEMENT	SFOP -
SAFETY FENCE	
STABILIZED CONSTRUCTION ENTRANCE	MSCE

EROSION AND SEDIMENT CONTROL NARRATIVE

CONTRACTOR IS TO IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL MEASURES TO ENSURE CAPTURE SEDIMENT LADEN RUNOFF FROM THE CONSTRUCTION AREA BEFORE IT ENTERS EXISTING NATURAL DRAINAGE WAYS OR EXISTING PUBLIC STORM SEWER INFRASTRUCTURE. THIS WILL BE CAD I.D.: ACCOMPLISHED THROUGH A VARIETY OF PERIMETER CONTROL AND SEDIMENT TRAPPING METHODS INCLUDING, BUT NOT LIMITED TO, STABLIZED CONSTRUCTION ENTRANCES, SILT FENCE, AND INLET

DAILY STABILIZATION NOTE

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END

- 1. FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE
- 2. FOR AREAS TO BE VEGETATIVELY STABILIZED A. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES,
- CHANNELS OR SWALES B. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

ANY AREAS WHICH CANNOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE SIDE.

SEQUENCE OF CONSTRUCTION:

1. NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK ON SITE. IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT, THIS SHALL BE COMPLETED BY AND INSPECTED AT THE PRE-CONSTRUCTION MEETING.

- 2. STAKE OVERALL LIMIT OF DISTURBANCE PER THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. INSTALL SAFETY FENCE AROUND SITE IF NECESSARY. TO BE DETERMINED BY PROPERTY OWNER OR CONTRACTOR.
- 3. CLEAR, GRUB, AND REMOVE ANY NECESSARY EXISTING FEATURES INTERFERING WITH PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES ONLY. INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SUPER SILT FENCE AS DIRECTED BY THE ST. MARY'S COUNTY SEDIMENT CONTROL INSPECTOR AND AS SHOWN ON THE APPROVED PLANS. SILT FENCE AND SUPER SILT FENCE SHALL BE INSPECTED AND MAINTAINED EACH WEEK AND AFTER EACH STORM EVENT. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.
- 4. NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMIT, APPROVAL AND INSPECTIONS, SEDIMENT CONTROL UPON COMPLETION OF SAID INSTALLATION.
- 5. INSTALL PHASE II STABILIZED CONSTRUCTION ENTRANCE AND REMOVE PHASE I STABILIZED CONSTRUCTION ENTRANCE. INSTALL SUPER SILT FENCE WHERE PHASE I STABILIZED CONSTRUCTION ENTRANCE WAS TO CLOSE GAP IN PERIMETER CONTROLS. BEGIN EXCAVATION OF PROPOSED GARAGE LEVELS AND TAKE SPOIL TO A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. INSTALL PROPOSED UNDERGROUND STORM FILTER AND UNDERGROUND DETENTION FACILITY ALONG WITH ASSOCIATED STORM DRAIN PIPES AND STRUCTURES. BEGIN INSTALLATION OF OTHER UNDERGROUND UTILITIES.
- 6. ONCE UNDERGROUND UTILITIES ARE INSTALLED AND SUBGRADES REACHED, BEGIN CONSTRUCTION OF PROPOSED BUILDING. GRADES AROUND THE BUILDINGS SHOULD BE DESIGNED SUCH THAT ALL RUNOFF WILL FLOW AROUND THE BUILDING.
- 7. COMPLETE FINE GRADING OF SITE. SITE SHALL BE BROUGHT TO GRADE AS SOON AS POSSIBLE AND STABILIZED WITH EITHER STONE SUBBASE OR PERMANENT SEED AND MULCH EXCEPT FOR THE FUTURE MICRO-BIORETENTION FACILITY AREAS. AREAS TO BE STABILIZED IN ACCORDANCE WITH DAILY STABILIZATION NOTE WHERE SHOWN ON THE PLANS.
- 8. INSTALL ANY REMAINING STONE SUBBASE AND BEGIN PAVING.
- 9. INSTALL MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS. DO NOT INSTALL FILTER MEDIA OR UNDERDRAINS AT THIS TIME. INSTALL INLET PROTECTION TO PROTECT MICRO-BIORETENTION FACILITIES AS THEY ARE INSTALLED.
- 10. UPON STABILIZATION OF EACH CONTRIBUTING DRAINAGE AREA WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, INSTALL ALL LANDSCAPING, MICRO-BIORETENTION PLANTER FACILITIES (STONE AND MICRO-BIORETENTION SOIL) AND UNDERDRAINS WITHIN THE MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS AND PERMANENTLY STABILIZE FACILITIES.
- UPON STABILIZATION OF THE ENTIRE SITE WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.



REVISIONS

REV	DATE	COMMENT	DRAWN BY
KEV	DATE	COMMENT	CHECKED B



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DRAWN BY: 01/19/2024

PROJECT:

CONCEPT SITE PLAN

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY LOT 500-22 TAX MAP 34, GRID 16, PARCEL 47

CSP23-0309

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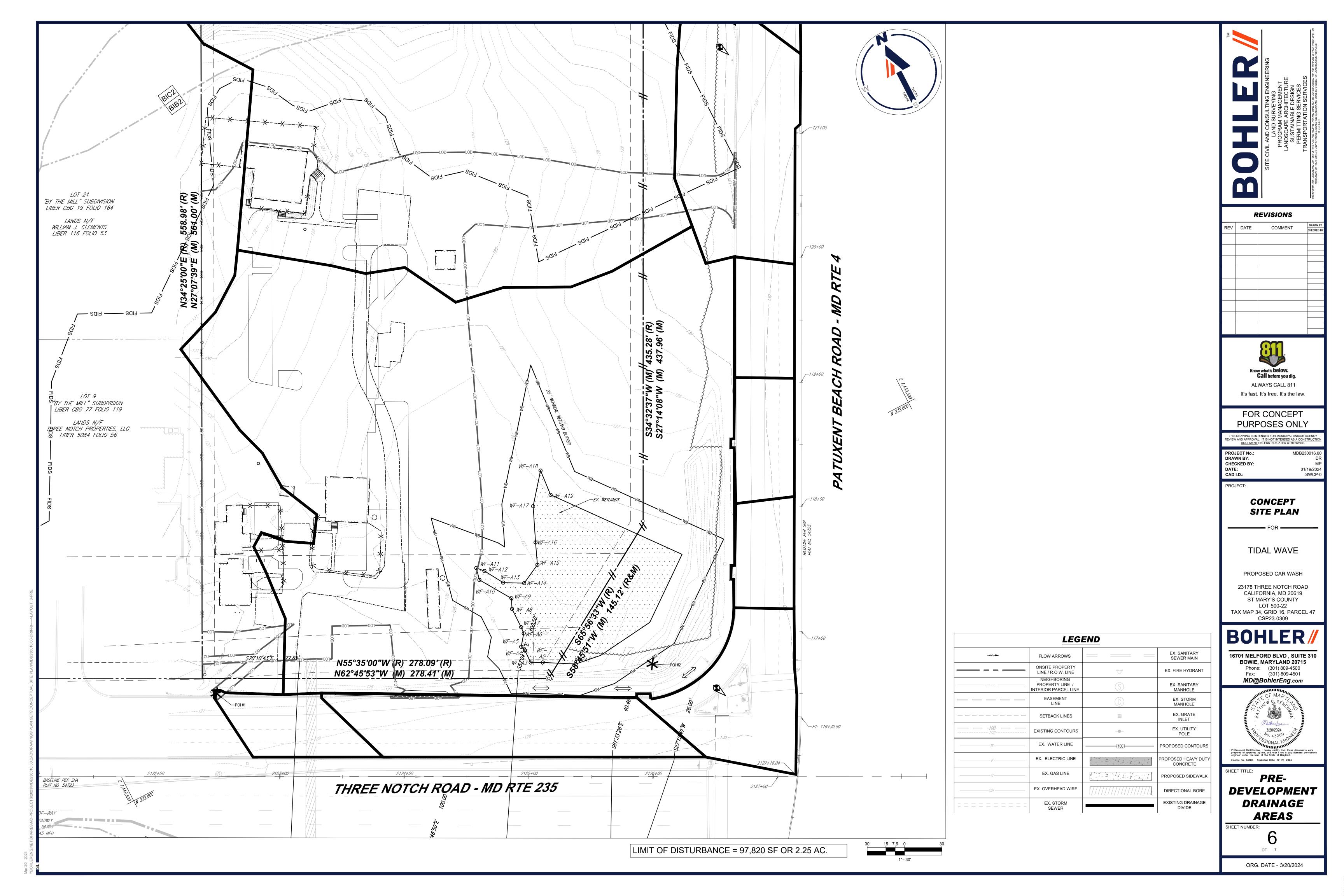


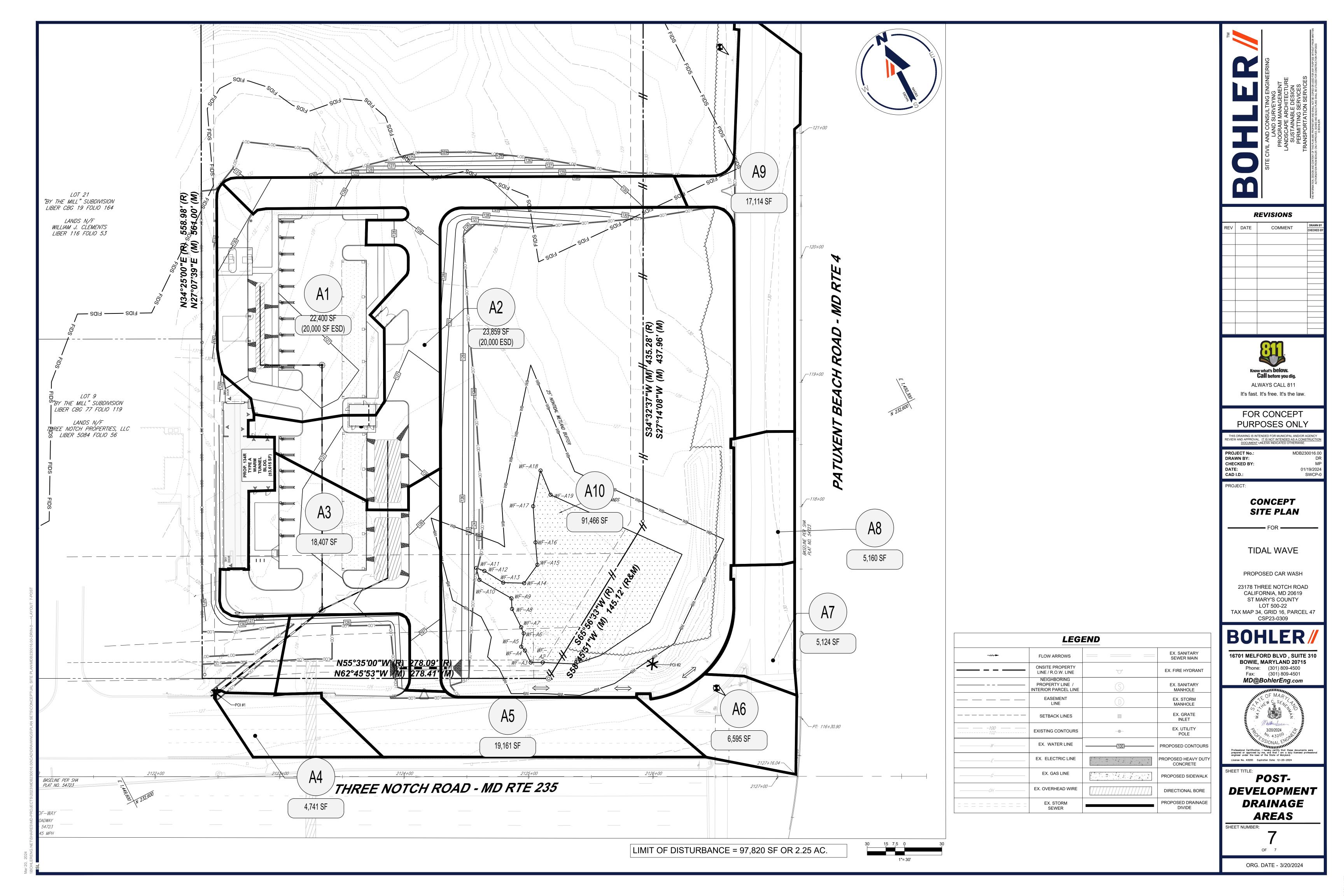
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 43200 Expiration Date: 12-20-2024

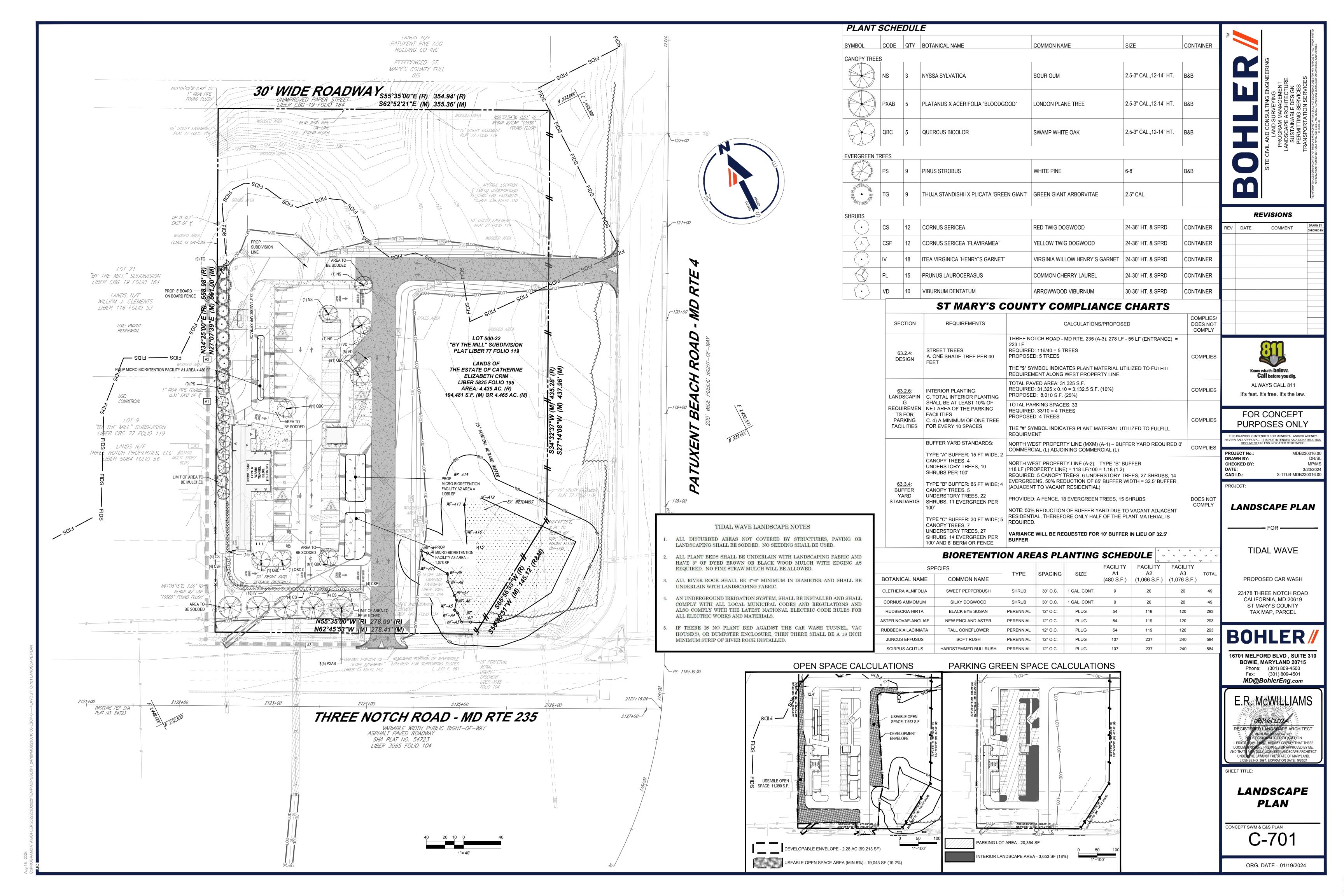
SHEET TITLE:

EROSION & SEDIMENT **CONTROL PLAN**

SHEET NUMBER: OF 7







STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET LIMIT OF DISTURBANCE TYPICAL NOTE TEXT EXISTING NOTE LINE / R.O.W. LINE **NEIGHBORING** PROPERTY LINE NTERIOR PARCEL LIN LINE

	CONCRETE CURB &	CURB AND GUTTER SPILL TRANSITION DEPRESSED CURB AND GUTTER
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	
₽ €	TRAFFIC LIGHT	□ ◀
0	UTILITY POLE	0
	TYPICAL LIGHT	
\$	ACORN LIGHT	\$
	TYPICAL SIGN	
\triangle	PARKING COUNTS	<u>x</u>
— — —170— — - 169	CONTOUR LINE	<u>190</u>
TC 516.4 OR 516.4	SPOT ELEVATIONS	TC 516.00 BC 515.55 MATCH EX (518.02 ±)
SAN #	SANITARY LABEL	SAN #
	STORM LABEL	X #
SI	SANITARY SEWER LATERAL	SL
	UNDERGROUND WATER LINE	
F	UNDERGROUND	F

W	UNDERGROUND WATER LINE		A	BBREVIATIONS
F	UNDERGROUND	Е		FOR ENTIRE PLAN SET
L	ELECTRIC LINE	_	AC	ACRES
	UNDERGROUND GAS LINE	G	ADA	AMERICANS WITH DISABILITY ACT
——————————————————————————————————————	OVERHEAD	OH	ARCH	ARCHITECTURAL
	WIRE		ВС	BOTTOM OF CURB
	UNDERGROUND TELEPHONE LINE		BF	BASEMENT FLOOR
	UNDERGROUND		BK	BLOCK
C	CABLE LINE	C	BL	BASELINE
	STORM		BLDG	BUILDING
	SEWER		ВМ	BUILDING BENCHMARK
<i>S</i>	SANITARY SEWER MAIN	s ————————————————————————————————————	BRL	BUILDING RESTRICTION LINE
			CF	CUBIC FEET
~	HYDRANT	8	CL	CENTERLINE
	SANITARY		CMP	CORRUGATED METAL PIPE
(S)	MANHOLE		CONN	CONNECTION
(D)	STORM		CONC	CONCRETE
	MANHOLE		CPP	CORRUGATED PLASTIC PIPE
⊗ ^{WM}	WATER METER	•	CY	CUBIC YARDS
WV			DEC	DECORATIVE
\bowtie	WATER VALVE		DEP	DEPRESSED
П	GAS		DIP	DUCTILE IRON PIPE
	VALVE		DOM	DOMESTIC
	GAS		ELEC	ELECTRIC
	METER		ELEV	ELEVATION EDGE OF DAVIMENT
	TYPICAL END SECTION		EP	EDGE OF PAVEMENT
	HEADWALL OR		ES	EDGE OF SHOULDER
OR	ENDWALL	J or I	EW EX	EXISTING
	GRATE		FES	FLARED END SECTION
$\overline{\hspace{1cm}}$	INLET	<u> </u>	FF	FINISHED FLOOR
	CURB INLET	<u>O</u>	FH	FIRE HYDRANT
	CLEAN		FG	FINISHED GRADE
0	OUT	0	G	GRADE
(E)	ELECTRIC	E	GF	GARAGE FLOOR (AT DOOR)
	MANHOLE		GH	GRADE HIGHER SIDE OF WALL
7	TELEPHONE MANHOLE		GL	GRADE LOWER SIDE OF WALL
			GRT	GRATE
EB	ELECTRIC BOX	EB	GV	GATE VALVE
EP	ELECTRIC	EP	HDPE	HIGH DENSITY
L/	PEDESTAL	LI.		POLYETHYLENE PIPE
	MONITORING		HP	HIGH POINT
	WELL		HOR	HORIZONTAL
	TEST PIT	□	HW	HEADWALL
•	BENCHMARK		INT	INTERSECTION
	DEIVOLIVIARA	•	INV	INVERT
	BORING		LF	LINEAR FOOT
		lacksquare	LOC	LIMITS OF CLEARING

CONCEPT STORWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL PLAN

• FOR ———

TIDAL WAVE AUTO SPA

PROPOSED

CAR WASH W/ DRIVE-THRU

LIMITS OF DISTURBANCE

LOW POINT

MAXIMUM

MANHOLE

ON CENTER

LOW POINT

LANDSCAPE

MAXIMUN

MINIMUM

MANHOLE

ON CENTER

LOW POINT

RADIUS

RETAINING WALI

SQUARE FEET

STORM

SIDEWALK

TO BE ABANDONED

TO BE REMOVED

TO BE RELOCATED

TREE PROTECTION FENCE

TO BE VACATED

TOP OF CURB

TELEPHONE

TOP OF WALL

UNDERGROUND UTILITY POLE

TYPICAL

WIDE

WATER LINE

WATER METER

PLUS OR MINUS

DIAMETER

NUMBER

MECHANICAL JOINT

POLYVINYL CHLORIDE PIPE

MECHANICAL JOINT

MAX

L/S

MAX

RET WALL

STA

STM

TBRL

TELE

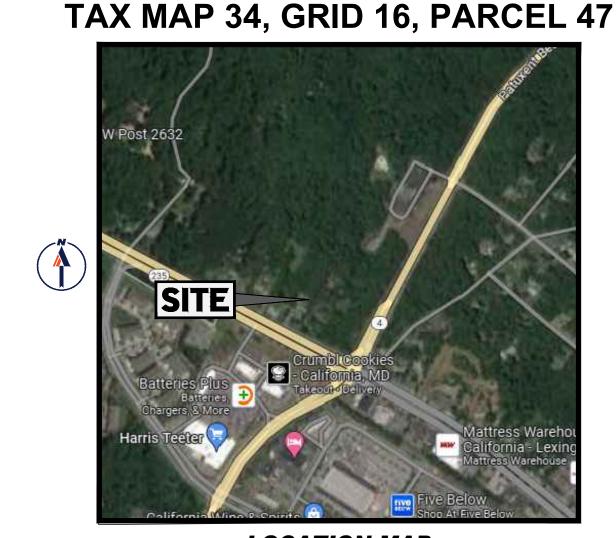
TYP

UG

W/M

STANDARD

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 **LOT 500-22**



LOCATION MAP

SCALE: N.T.S. PLAN REFERENCE: GOOGLE MAPS PREPARED BY

DEVELOPER



16701 MELFORD BOULEVARD, SUITE 310 **BOWIE, MARYLAND 20715** (301) 809-4500

(301) 809-4501 www.BohlerEngineering.com

CONTACT:

REFERENCES AND CONTACTS



* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	1
EXISTING CONDITIONS AND PRE-DEVELOPMENT DRAINAGE AREA MAP	2
STORMWATER MANAGEMENT AND POST-DEVELOPMENT DRAINAGE AREA MAP	3
EROSION AND SEDIMENT CONTROL CONCEPT PLAN	4





REVISIONS



FOR CONCEPT **PURPOSES ONLY**

DRAWN BY: CHECKED BY: CAD I.D.: X-TTLB-MDB23**00/10**539

PROJECT: STORMWATER **MANAGEMENT**

TIDAL WAVE

CONCEPT PLAN

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY

TAX MAP, PARCEL

PROPOSED CAR WASH

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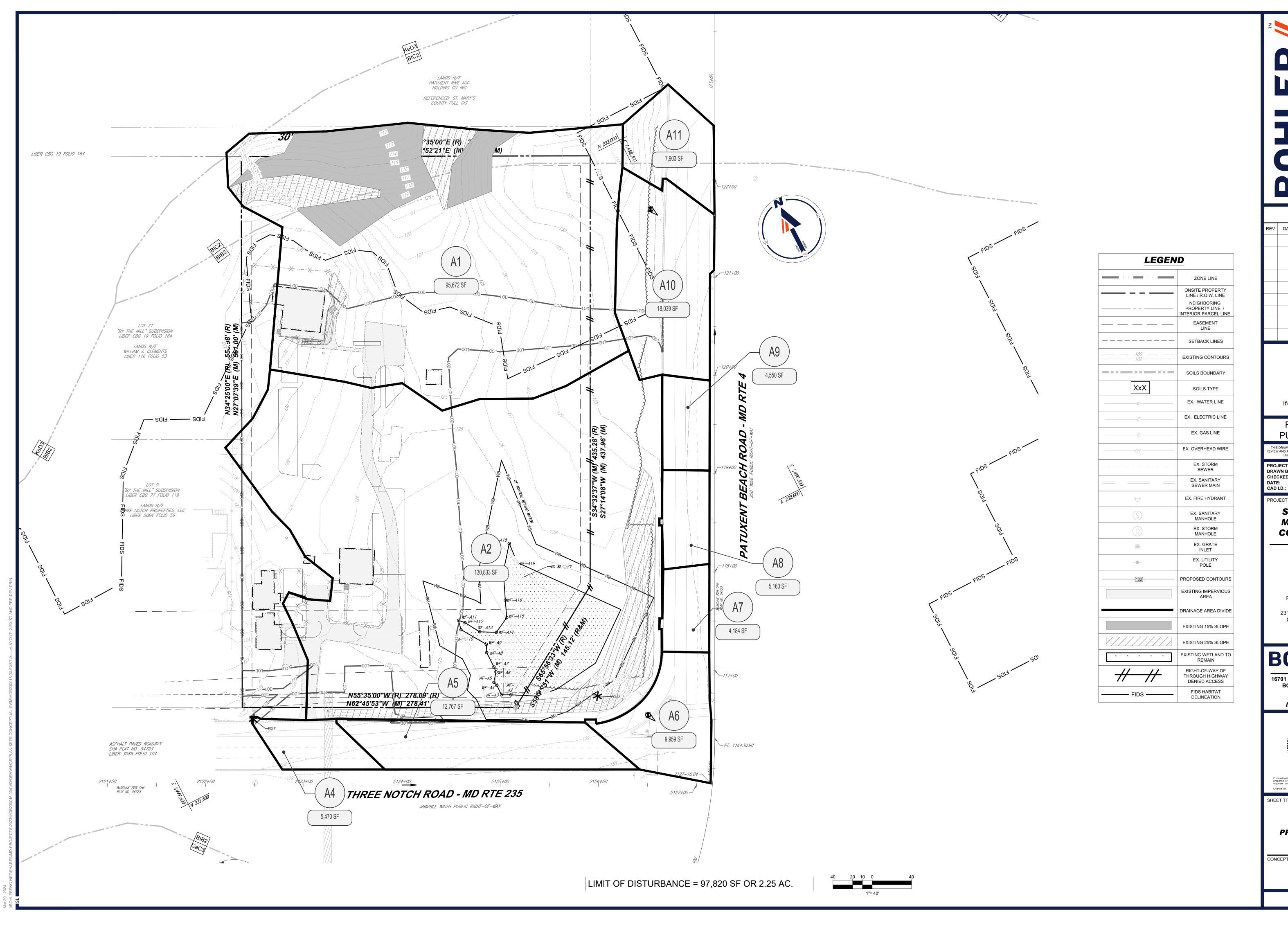
COVER SHEET

SHEET

OF 4

ORG. DATE - 01/19/2024

SENERAL NULE:
IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT RK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO SPECIFICATIONS OR APPLICABLE CODES IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTICY THE PROJECT ENGINEER OF RECORD IN PTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS ANI





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REV	DATE	COMMENT	DRAWN B

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MDB230016.00 DR/SL MP/MS PROJECT No.: DRAWN BY: CHECKED BY: 3/20/2024 X-TTLB-MDB23**00/R6**N90

PROJECT:

STORMWATER **MANAGEMENT CONCEPT PLAN**

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY TAX MAP, PARCEL

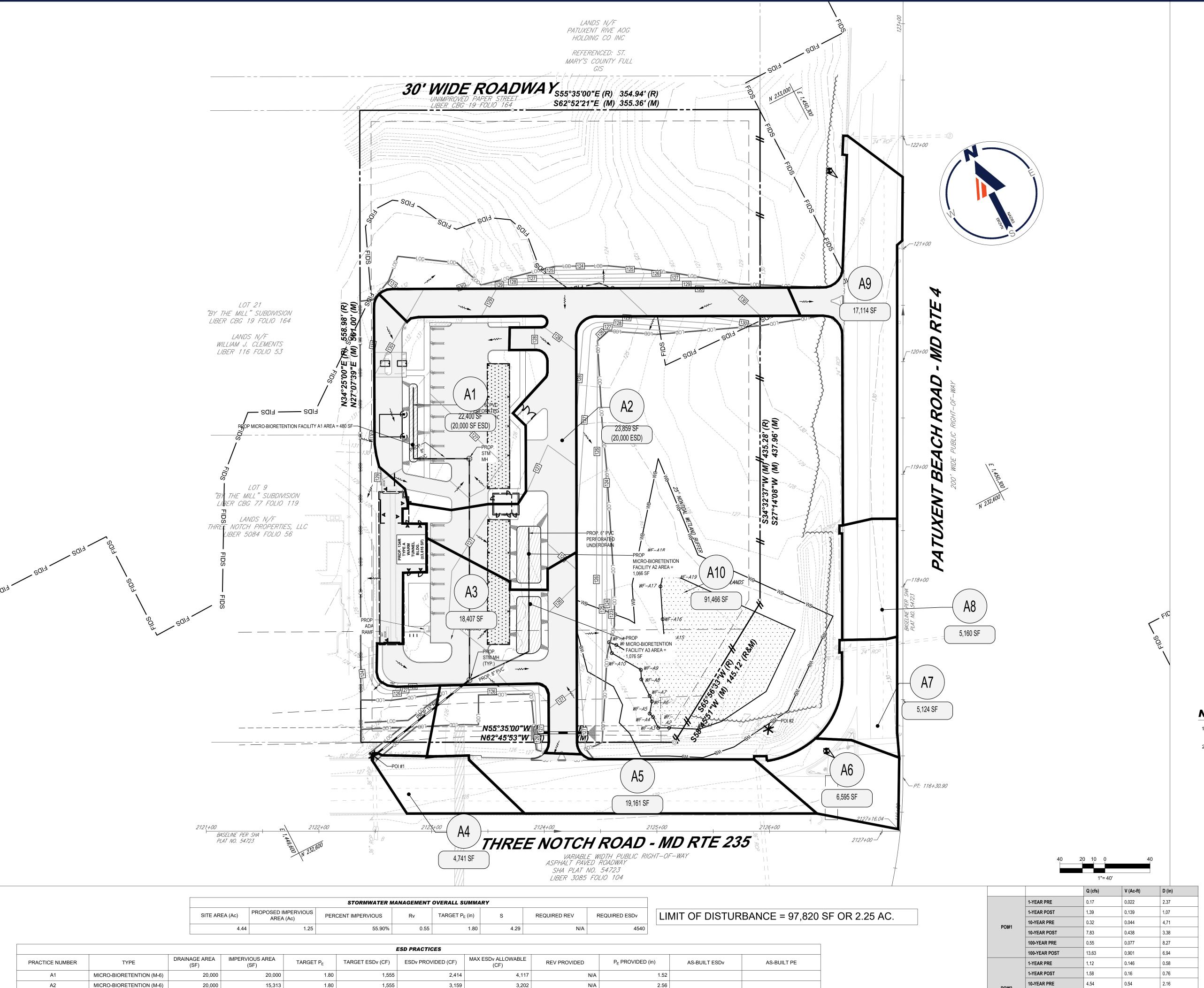
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EXISTING **CONDITIONS** AND PRE-DEVELPMENT DRAINAGE AREA MAP

CONCEPT SWM & E&S PLAN

OF 4



MICRO-BIORETENTION (M-6)

TOTALS

18,407

14,465

49,778

1,431

4,541

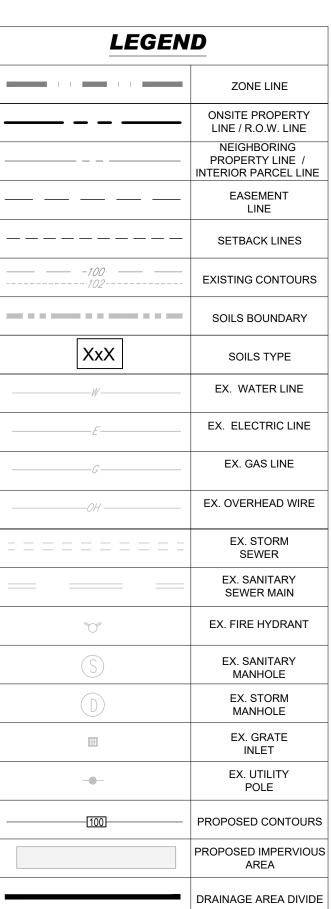
3,159

8,732

3,019

10,338

N/A



10-YEAR POST

100-YEAR PRE

100-YEAR POST

0.516

1.288

1.169

2.44

5.15

5.52

- 1. THE NATURAL RESOURCES MAP HAS BEEN FIELD VERIFIED BY THE PROJECT ENGINEER.
- 2. BIORETENTION FACILITIES WERE CHOSEN FOR THIS SITE BECAUSE THE MAJORITY OF THE SITE WILL BE COVERED BY THE PROPOSED BUILDING AND PARKING AREAS. SHEET FLOW WITHIN THE PARKING LOT WILL BE ROUTED TO THESE FACILITIES THROUGH CURB CUTS. RIP RAP WILL BE INSTALLED AT

LEGEND				
ZONE LINE				
	ONSITE PROPERTY LINE / R.O.W. LINE			
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE			
	EASEMENT LINE			
	SETBACK LINES			
	EXISTING CONTOURS			
	SOILS BOUNDARY			
XxX	SOILS TYPE			
	EX. WATER LINE			
E	EX. ELECTRIC LINE			
	EX. GAS LINE			
	EX. OVERHEAD WIRE			
=======	EX. STORM SEWER			
	EX. SANITARY SEWER MAIN			
~	EX. FIRE HYDRANT			
S	EX. SANITARY MANHOLE			
D	EX. STORM MANHOLE			
=	EX. GRATE INLET			
-•-	EX. UTILITY POLE			
[100]	PROPOSED CONTOURS			
	PROPOSED IMPERVIOUS			

NOTE:

- THESE CURB CUTS FOR PRE-TREATMENT.



REVISIONS			
REV	DATE	COMMENT	DRAWN B



FOR CONCEPT **PURPOSES ONLY**

PROJECT No.: DRAWN BY: CHECKED BY: DR/SL MP/MS DATE: CAD I.D.: X-TTLB-MDB23500/16F90

PROJECT:

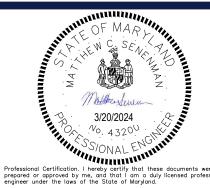
STORMWATER **MANAGEMENT CONCEPT PLAN**

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY TAX MAP, PARCEL

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501 MD@BohlerEng.com

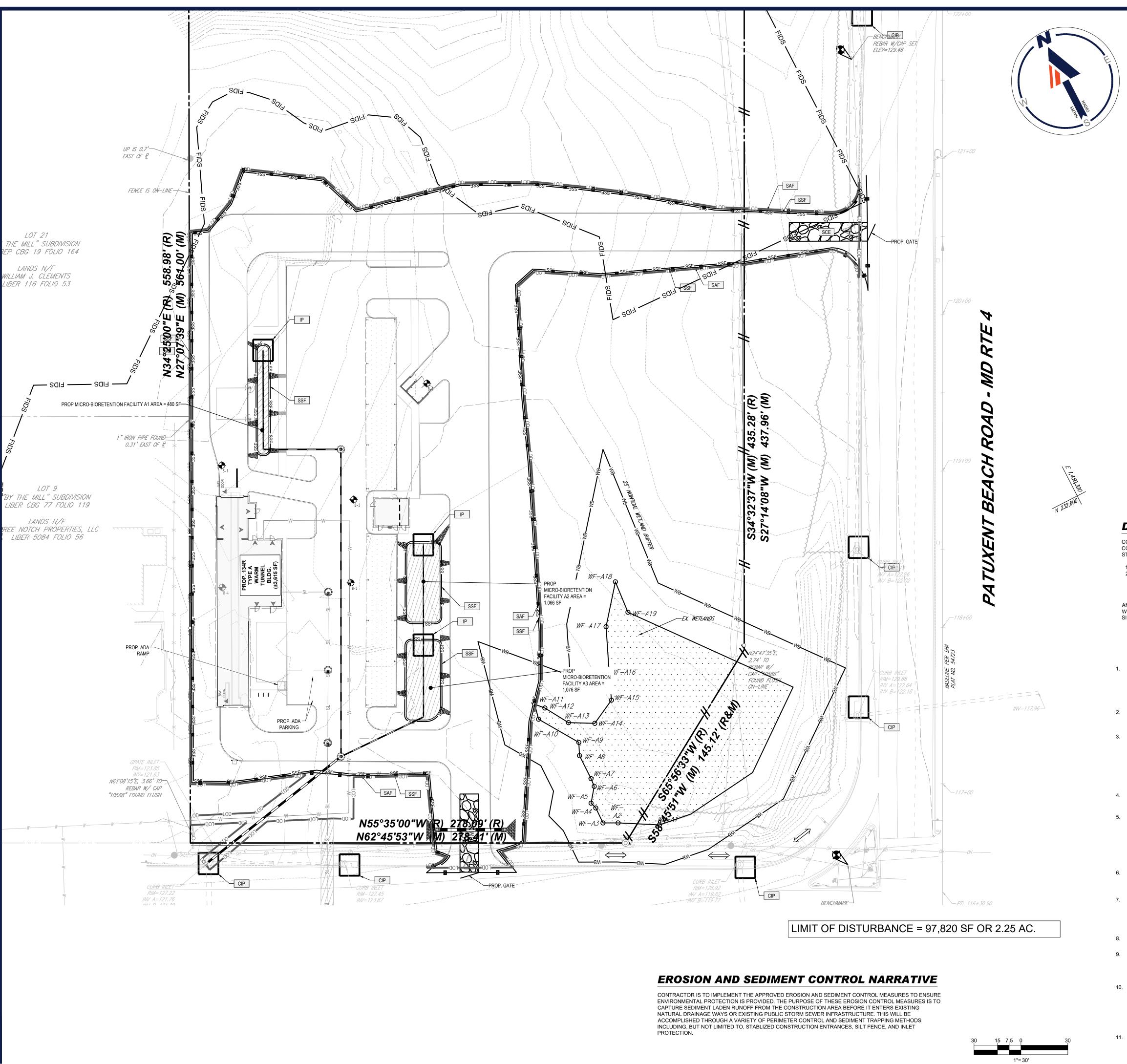


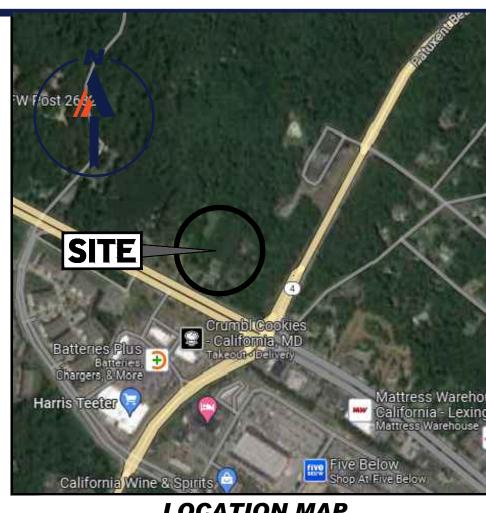
License No. 43200 Expiration Date: 12-20-2024 STORMWATER MANAGEMENT

AND POST DEVELOPMENT DRAINAGE AREA MAP

CONCEPT SWM & E&S PLAN







LOCATION MAP

LEGEND

ZONE LINE

ONSITE PROPERTY LINE / R.O.W. LINE NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE **EASEMENT** LINE

SETBACK LINES

EXISTING CONTOURS

SOILS BOUNDARY

SOILS TYPE

EX. WATER LINE

EX. ELECTRIC LINE

EX. GAS LINE

EX. OVERHEAD WIRE

EX. STORM

SEWER

EX. SANITARY

SEWER MAIN

EX. FIRE HYDRANT

EX. SANITARY

MANHOLE

EX. STORM MANHOLE

EX. GRATE

INLET

EX. UTILITY

BORING

LOCATION

E&S LEGEND			LEGEN
	CURB INLET PROTECTION		
	LIMIT OF DISTURBANCE	LOD	
	SILT FENCE	SF	
	SUPER SILT FENCE	SSF	
	SILT FENCE ON PAVEMENT	SFOP	XxX
	SAFETY FENCE	-8-8	E
	STABILIZED CONSTRUCTION ENTRANCE	DOSCE	

DAILY STABILIZATION NOTE

CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:

FOR AREAS TO BE PAVED. THE APPLICATION OF STONE BASE 2. FOR AREAS TO BE VEGETATIVELY STABILIZED A. PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOD FOR ALL STEEP SLOPES, CHANNELS OR SWALES B. PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.

ANY AREAS WHICH CANNOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE

SEQUENCE OF CONSTRUCTION:

- 1. NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMITS, APPROVALS, AND INSPECTIONS, SEDIMENT CONTROL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK ON SITE. IF APPLICABLE, ORANGE HIGH VISIBILITY FENCE SHALL BE MANUALLY INSTALLED ALONG THE LIMIT OF DISTURBANCE, WHERE THE LIMIT IS WITHIN 50 FEET OF THE FOREST BUFFER/CONSERVATION EASEMENT, THIS SHALL BE COMPLETED BY AND INSPECTED AT THE PRE-CONSTRUCTION MEETING.
- 2. STAKE OVERALL LIMIT OF DISTURBANCE PER THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. INSTALL SAFETY FENCE AROUND SITE IF NECESSARY. TO BE DETERMINED BY PROPERTY OWNER OR CONTRACTOR.
- 3. CLEAR, GRUB, AND REMOVE ANY NECESSARY EXISTING FEATURES INTERFERING WITH PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES ONLY. INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SUPER SILT FENCE AS DIRECTED BY THE ST. MARY'S COUNTY SEDIMENT CONTROL INSPECTOR AND AS SHOWN ON THE APPROVED PLANS. SILT FENCE AND SUPER SILT FENCE SHALL BE INSPECTED AND MAINTAINED EACH WEEK AND AFTER EACH STORM EVENT. MAINTENANCE SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.
- 4. NOTIFY ST. MARY'S COUNTY DEPARTMENT OF PERMIT, APPROVAL AND INSPECTIONS, SEDIMENT CONTROL UPON COMPLETION OF SAID INSTALLATION.
- 5. INSTALL PHASE II STABILIZED CONSTRUCTION ENTRANCE AND REMOVE PHASE I STABILIZED CONSTRUCTION ENTRANCE. INSTALL SUPER SILT FENCE WHERE PHASE I STABILIZED CONSTRUCTION ENTRANCE WAS TO CLOSE GAP IN PERIMETER CONTROLS. BEGIN EXCAVATION OF PROPOSED GARAGE LEVELS AND TAKE SPOIL TO A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. INSTALL PROPOSED UNDERGROUND STORM FILTER AND UNDERGROUND DETENTION FACILITY ALONG WITH ASSOCIATED STORM DRAIN PIPES AND STRUCTURES. BEGIN INSTALLATION OF OTHER UNDERGROUND UTILITIES.
- 6. ONCE UNDERGROUND UTILITIES ARE INSTALLED AND SUBGRADES REACHED, BEGIN CONSTRUCTION OF PROPOSED BUILDING. GRADES AROUND THE BUILDINGS SHOULD BE DESIGNED SUCH THAT ALL RUNOFF WILL FLOW AROUND THE BUILDING.
- 7. COMPLETE FINE GRADING OF SITE. SITE SHALL BE BROUGHT TO GRADE AS SOON AS POSSIBLE AND STABILIZED WITH EITHER STONE SUBBASE OR PERMANENT SEED AND MULCH EXCEPT FOR THE FUTURE MICRO-BIORETENTION FACILITY AREAS. AREAS TO BE STABILIZED IN ACCORDANCE WITH DAILY STABILIZATION NOTE WHERE SHOWN ON THE PLANS.
- 8. INSTALL ANY REMAINING STONE SUBBASE AND BEGIN PAVING.
- 9. INSTALL MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS. DO NOT INSTALL FILTER MEDIA OR UNDERDRAINS AT THIS TIME. INSTALL INLET PROTECTION TO PROTECT MICRO-BIORETENTION FACILITIES AS THEY ARE
- 10. UPON STABILIZATION OF EACH CONTRIBUTING DRAINAGE AREA WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, INSTALL ALL LANDSCAPING, MICRO-BIORETENTION PLANTER FACILITIES (STONE AND MICRO-BIORETENTION SOIL) AND UNDERDRAINS WITHIN THE MICRO-BIORETENTION FACILITIES PER THE APPROVED SWM PLANS AND PERMANENTLY STABILIZE FACILITIES.
- 11. UPON STABILIZATION OF THE ENTIRE SITE WITH ESTABLISHED VEGETATION AND WITH THE PERMISSION FROM BALTIMORE COUNTY DEPARTMENT OF PERMITS, APPROVALS AND INSPECTIONS AND THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.



REVISIONS	
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FOR CONCEPT **PURPOSES ONLY**

DRAWN BY:

CAD I.D.: X-TTLB-MDB23191810689

PROJECT: STORMWATER MANAGEMENT

CONCEPT PLAN

TIDAL WAVE

PROPOSED CAR WASH

23178 THREE NOTCH ROAD CALIFORNIA, MD 20619 ST MARY'S COUNTY TAX MAP, PARCEL

BOHLER

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License No. 43200 Expiration Date: 12-20-2024

EROSION & SEDIMENT CONTROL **CONCEPT PLAN**

ONCEPT SWM & E&S PLAN

OF 4

LANDSCAPE SPECIFICATIONS

HE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

- A. GENERAL ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS
- B. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS
- C. LAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED 1.2. SOD SHALL BE STRONGLY ROOTED. WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. 1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- D. MULCH THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

F FFRTII IZFR

- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A
- WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY

F PLANT MATERIAL

- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE
- 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL
- 1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. 1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED. SHALL BE REJECTED PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
- 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE
- 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH

1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL 3. GENERAL WORK PROCEDURES

- A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED. STOCKPILED OR DISPOSED OF
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE
- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- . A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
- C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY.

- COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL
- PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. 1.2 TO INCREASE DRAINAGE MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE
- USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE. 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE

- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL
- C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED 13. CLEANUF BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

- CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
- B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS
-). ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1 000 SQUARE FOOT AREA) 1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
- E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKELLING
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED
- F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN. MUST BE INSTALLED. INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS
- 1.1. PLANTS: MARCH 15 TO DECEMBER 15
- 1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
- H. FURTHERMORE. THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING
- ACER RUBRUM PLATANUS X ACERIFOLIA BETULA VARIETIES POPULOUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES
- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
- 1 PART PEAT MOSS • 1 PART COMPOSTED COW MANURE BY VOLUME
- 3 PARTS TOPSOIL BY VOLUME • 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
- A) 2 TABLETS PER 1 GALLON PLANT B) 3 TABLETS PER 5 GALLON PLANT
- C) 4 TABLETS PER 15 GALLON PLANT D) LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK
- J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND
- K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL. THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP
- ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- M. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION
- N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

- A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
- B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED

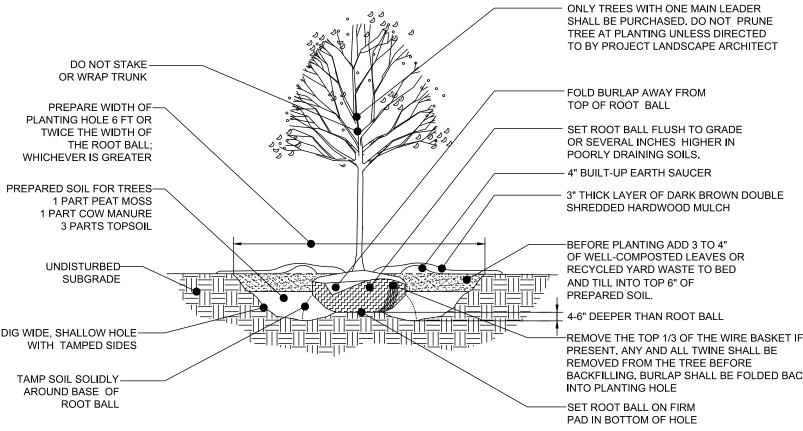
- D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE
- MUNICIPALITY'S TREE REPLACEMENT GUIDELINES. A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL
- B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
- C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CUI TIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
- D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH. ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED
- B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

ONLY TREES WITH ONE MAIN LEADER SHALL BE PURCHASED. DO NOT PRUNE TREE AT PLANTING UNLESS DIRECTED TO BY PROJECT LANDSCAPE ARCHITECT DO NOT STAKE OR -FOLD BURLAP AWAY FROM TOP OF WRAP TRUNK ROOT BALL SET ROOT BALL FLUSH TO GRADE OR PREPARE WIDTH OF -PLANTING HOLE 6 FT SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS. OR TWICE THE WIDTH OF THE ROOT BALL; - 4" BUILT-UP EARTH SAUCER WHICHEVER IS GREATER - 3" THICK LAYER OF DARK BROWN DOUBLE SHREDDED HARDWOOD MULCH PREPARED SOIL FOR-TREES 1 PART PEAT MOSS 1 BEFORE PLANTING ADD 3 TO 4" PART COW MANURE 3 OF WELL-COMPOSTED LEAVES PARTS TOPSOIL OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL. 4-6" DEEPER THAN ROOT BALL UNDISTURBED-SUBGRADE - REMOVE THE TOP 1/3 OF THE WIRE BASKET IF PRESENT. ANY AND ALL TWINE SHALL BE REMOVED DIG WIDE, SHALLOW HOLE-FROM THE TREE BEFORE BACKFILLING. BURLAP SHALI WITH TAMPED SIDES BE FOLDED BACK INTO PLANTING HOLE TAMP SOIL SOLIDLY AROUND-BASE OF ROOT BALL - SET ROOT BALL ON FIRM REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT

EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

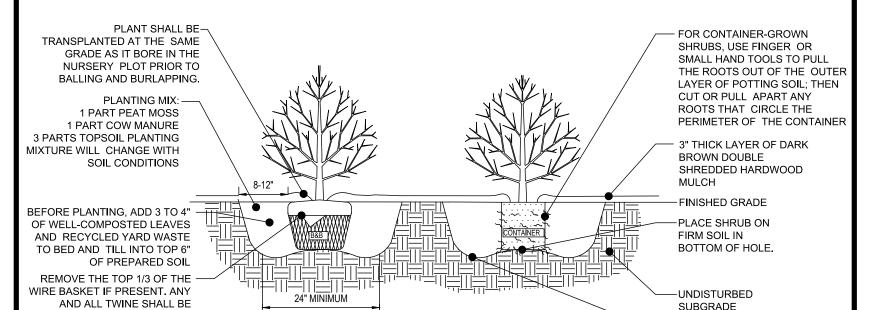


REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT DECIDUOUS TREE PLANTING DETAIL



SOIL SURFACE ROUGHENED

TO BIND WITH NEW SOIL.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT **DECIDUOUS AND EVERGREEN** SHRUB PLANTING DETAIL

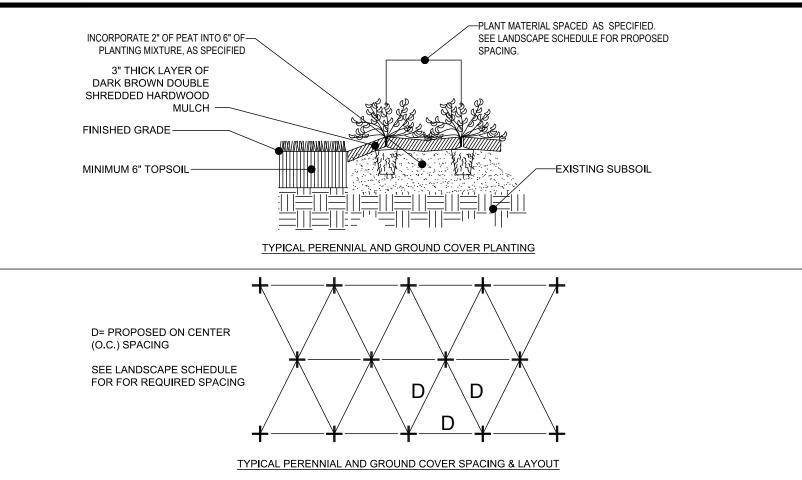
NOT TO SCALE

REMOVED FROM THE SHRUB

BEFORE BACKFILLING. BURLAP

SHALL BE FOLDED BACK INTO

PLANTING HOLE



PERENNIAL/GROUND COVER PLANTING DETAIL

OWNER MAINTENANCE RESPONSIBILITIES

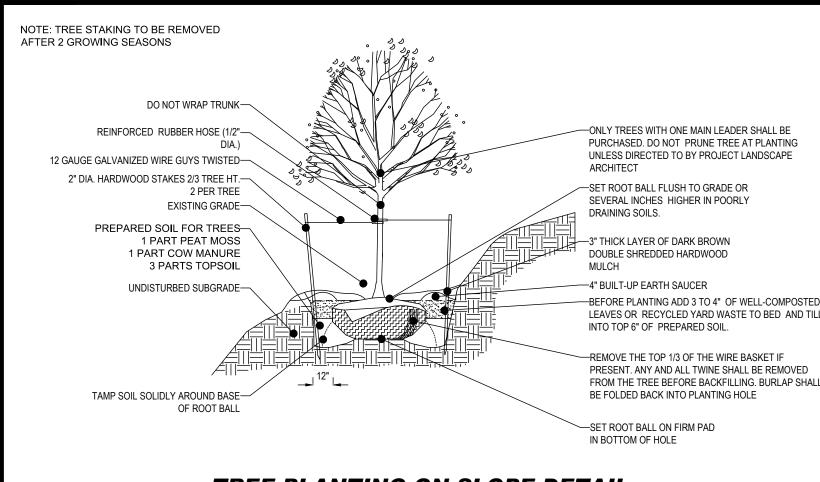
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS. VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED
- SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY

FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY

OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS



TREE PLANTING ON SLOPE DETAIL

1/2 LB/1,000 SQ FT

1 LB/1 000 SQ FT

SEEDING SPECIFICATIONS

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND
- SEEDING RATES: PERENNIAL RYEGRASS KENTUCKY BI UEGRASS RED FESCUE SPREADING FESCUE

COVER IS ESTABLISHED BY OWNER.

1 1/2 I BS/1 000 SQ F 1 1/2 LBS/1,000 SQ FT FERTILIZER (20:10:10) 14 LBS/1,000 SQ FT 90 LBS/1,000 SQ FT GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING.

CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF

REVISIONS REV DATE COMMENT





FOR CONCEPT **PURPOSES ONLY**

REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONSTRUC</u> <u>DOCUMENT</u> UNLESS INDICATED OTHERWISE. PROJECT No.: MDB230016.0

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PROPOSED CAR WASH

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